

PUBLIC NOTICE

PLEASE TAKE NOTICE that Zoning Hearing Board of Upper Gwynedd Township will reorganize and hold an in-person public hearing on Wednesday, April 24, 2024, at the Upper Gwynedd Township Building, 1 Parkside Place, North Wales (Upper Gwynedd Township), PA 19454, at 7:00 P.M. on the following matters:

Hearing No. 24-04: Clifford A. Booz for property located at 962 Garfield Avenue, Lansdale, PA 19446 requests a variance from Section 195-12.B(6) of the Upper Gwynedd Zoning Code to permit a side yard setback of 3 feet where 6 feet is required for a rear yard shed. The Property is zoned R-2 Residential District.

Hearing No. 24-05: Tom and Kristin Diamond for property located at 761 Shearer Street, North Wales, PA 19454 requests a variance from Section 195-19.B(1)(d) of the Upper Gwynedd Zoning Code to permit a side yard setback of 15 feet where 30 feet is required for a two-story addition. The Property is zoned R-1 Residential and was developed under the Planned Single-Family Residential (PSR) District standards.

Hearing No. 24-06: Andrew Phillips Shaw for property located at 240 Gwynedd Avenue, North Wales, PA 19454 requests the following variances from the Upper Gwynedd Zoning Code for a two-story addition: (1) a variance from Section 195-12.B(3) to permit a front yard setback of 2.86 feet along 6th Street where 50 feet is required, and (2) a variance from Section 195-40 to permit the existing non-conforming house to be expanded by 47% where a maximum of 25% is permitted. The Property is zoned R-2 Residential District and is a corner lot.

Hearing No. 24-07: Summit/ ELU Church Road, LLC for property located at 203 Church Road, North Wales, PA 19454 requests a special exception under Section 195-25.B(12) of the Upper Gwynedd Zoning Code to permit a transportation facility use. The Property is zoned LI-Limited Industrial District.

Hearing No. 24-08: Philip Jaisohn Memorial Foundation for property located at 1180 Welsh Road, North Wales, PA 19454 requests use variances from Section 195-20 of the Upper Gwynedd Zoning Code to permit the following uses and accessory uses in the existing office building: (1) a senior adult daycare facility, (2) a gathering place for senior activities, (3) an accessory kitchen and café for use by building occupants, (4) an accessory pharmacy, and (5) a lecture space for medical and related presentations and related programming activities. The Property is zoned OC – Office Center District.

Hearing No. 24-09: Denise Schulz and Aimee K. Schulz-Plarr for property located at 208 Grannery Lane, North Wales, PA 19454 requests a variance from Section 195-9.M(2) of the Upper Gwynedd Zoning Code to permit a detached garage with a midpoint height of 22 feet, 1.75 inches where a maximum of 14 feet is permitted. The Property is zoned R-2 Residential District.

Copies of the application, exhibits, site plans or other materials received by the Township in connection with the above matter are on file with the Zoning Officer at the Township Building. Paper copies may be requested in writing from the Township at a cost as permitted by law. The public is invited to attend the public hearing and participate. If a member of the public would like

to participate but requires assistance or accommodation, please contact the Township at mweaver@uppergwynedd.org or (215) 699-7777 prior to 10:00 a.m. on April 24, 2024.

Patrick Hitchens, Esquire

Solicitor for the Zoning Hearing Board of
Upper Gwynedd Township

As stated in the legal advertisement, copies of the applications, exhibits, site plans or other materials received by the Township for zoning cases to be heard by the Zoning Hearing Board are on file with the Zoning Officer. In an effort to make these documents more accessible, electronic copies are available below. Because Pennsylvania law does not require applicants to submit exhibits in advance of a hearing, other materials may be presented at the hearing that were not submitted in advance or that may differ from the materials submitted. Therefore, any individual interested in a particular zoning case is encouraged to attend the hearing in order to be apprised of all documents and information presented.

ZONING HEARING BOARD
 UPPER GWYNEDD TOWNSHIP
 MONTGOMERY COUNTY, PENNSYLVANIA
 Zoning Ordinance of November 23, 1987 as Amended

RECEIVED

MAR 12 2024

BY: ZHB 24-04

APPLICATION FOR VARIANCE(S)
 APPLICATION FOR SPECIAL EXCEPTION(S)
 APPEAL FROM ZONING OFFICER'S
 DECISION/DETERMINATION(S)

Date: MAR 12 2024

PROPERTY ADDRESS/
 LOCATION 962 GARFIELD AVE LOT SIZE .42 ACRES ZONING DISTRICT R-2

Check One (Applicant)

Owner

Equitable Owner (under Agreement of Sale)

Lessor

Lessee

Applicant's Name: CLIFFORD BOOZ Check One

Address: 962 GARFIELD AVE

Telephone: _____

Date Ownership Secured _____
 Date of Agreement of Sale _____
 Date of Lease _____

Contractor's or Agent's Name _____

Public Water Yes _____ No _____
 Public Sewer Yes _____ No _____

Address _____

Give full information as to Section of Zoning Ordinance involved and reasons why the Variance(s), Special Exception(s) or Appeal is desired and why it should be granted.

SEE ATTACHED SHEET

 Owner's signature, if Applicant is not Owner, agreeing to this Application

Applicant's Signature Cliff Booz
 Please Print Name: CLIFFORD BOOZ

Attorney's Name: _____
 Address: _____
 Telephone: _____

Record of Secretary - Zoning Hearing Board

Application No. _____ Hearing Date(s) _____ Decision Date _____

VARIANCE(S)	Granted _____	Denied _____
SPECIAL EXCEPTION(S)	Granted _____	Denied _____
APPEAL	Granted _____	Denied _____

RESTRICTIONS/CONDITIONS (if any)

- () Zoning Officer
- () Zoning Hearing Board
- () Board of Commissioners
- () Zoning Solicitor

Signature of Secretary _____

To: ZONING HEARING BOARD

Re; 962 Garfield Ave.

Application for Variance: Attachment.

Zoning Ordinance requires shed placement 6 feet from side property line.

Requesting a variance to place shed 3 feet from side property line.

As a disabled veteran sometimes, I have mobility problems and am unstable. I am requesting this variance of 3 feet to provide a safer distance from the front of the shed to the concrete walk and pool edge.

Thank you for your time and consideration.

Respectfully

Clifford Booz MMC USN Ret.

APPLICATION DATE: 7/10/12 APPROVAL DATE: / / PERMIT #

CONSOLIDATED CONSTRUCTION PERMIT APPLICATION

UPPER GWYNEDD TOWNSHIP
CODE ENFORCEMENT DEPARTMENT
215-699-7777

Construction Permits are required for residential and commercial **new construction, additions, alterations, repairs, demolitions, plumbing, mechanical, electrical, swimming pools, sheds, decks, patios, driveway expansions, roofing replacement, and fences.** Permit applications must be completed and submitted with two (2) sets of applicable drawings and specifications. If work is new construction, or exterior to the existing structure, two (2) plot plans showing the location and dimensions of the proposed construction and all existing property features (including easements) must be submitted. Please include a copy of any prior approvals if applicable (i.e. variance, grading permit)

PROPERTY ADDRESS: 962 GARFIELD AVE LANSDALE PA

EXISTING USE: RESIDENTIAL COMMERCIAL _____
(Specific Use)

OWNER NAME: CLIFFORD BOOZ

MAILING ADDRESS: 962 GARFIELD AVE
LANSDALE PA 19446

HOME PHONE: _____

MOBILE PHONE: _____

EMAIL ADDRESS: _____

CONTRACTOR NAME: COUNTRY Tyme SHEDS -
(State Registration #)

MAILING ADDRESS: 847 BETHLEHEM PIKE
COLMAR PA 18915

BUSINESS PHONE: 267 477 1145

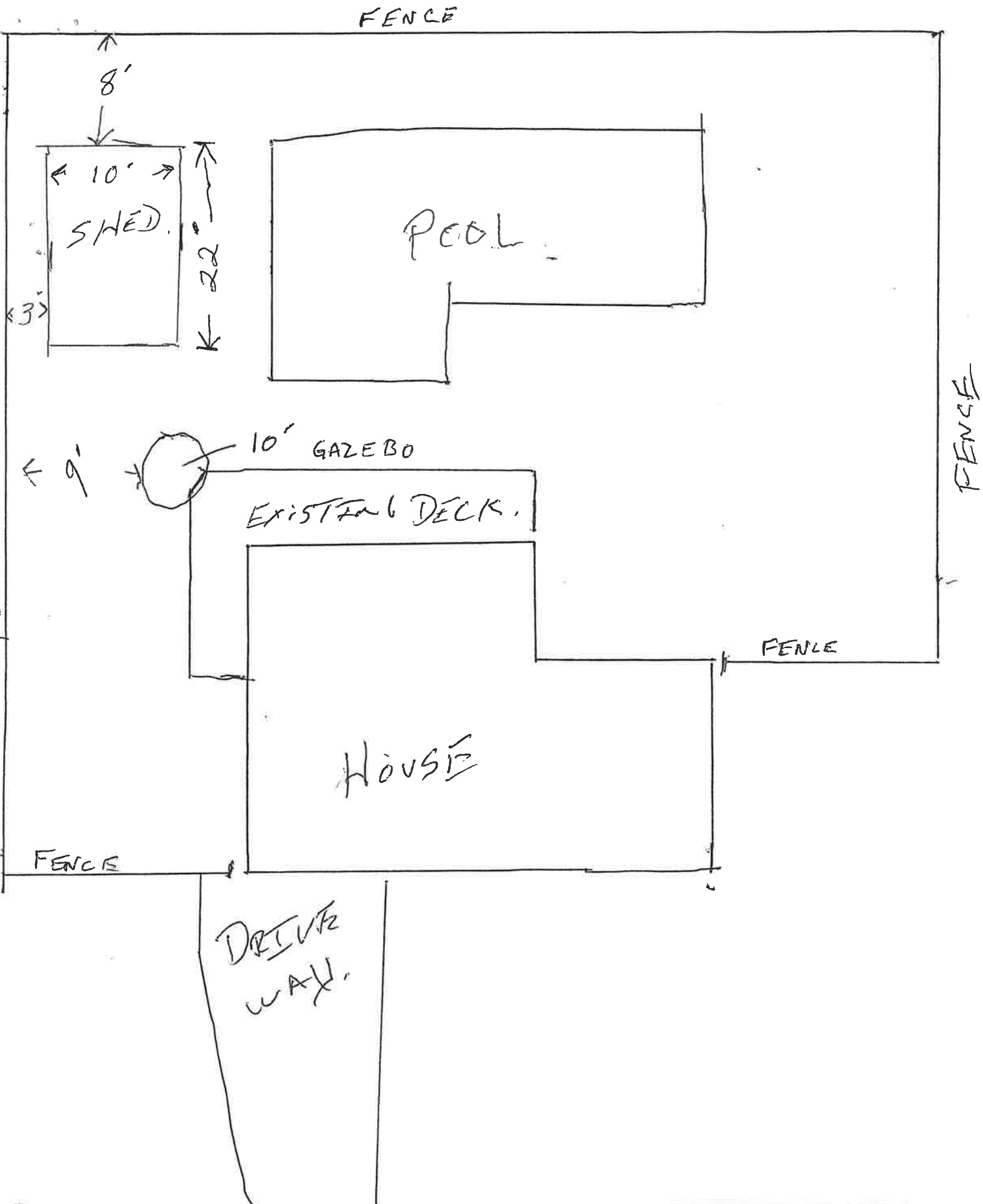
MOBILE PHONE: _____

EMAIL ADDRESS: SALES@COUNTRYTYMESHEDS.COM

PLEASE PROVIDE, OR ATTACH A DETAILED DESCRIPTION OF THE PROPOSED WORK BELOW:
STONE PAD WITH BORDER

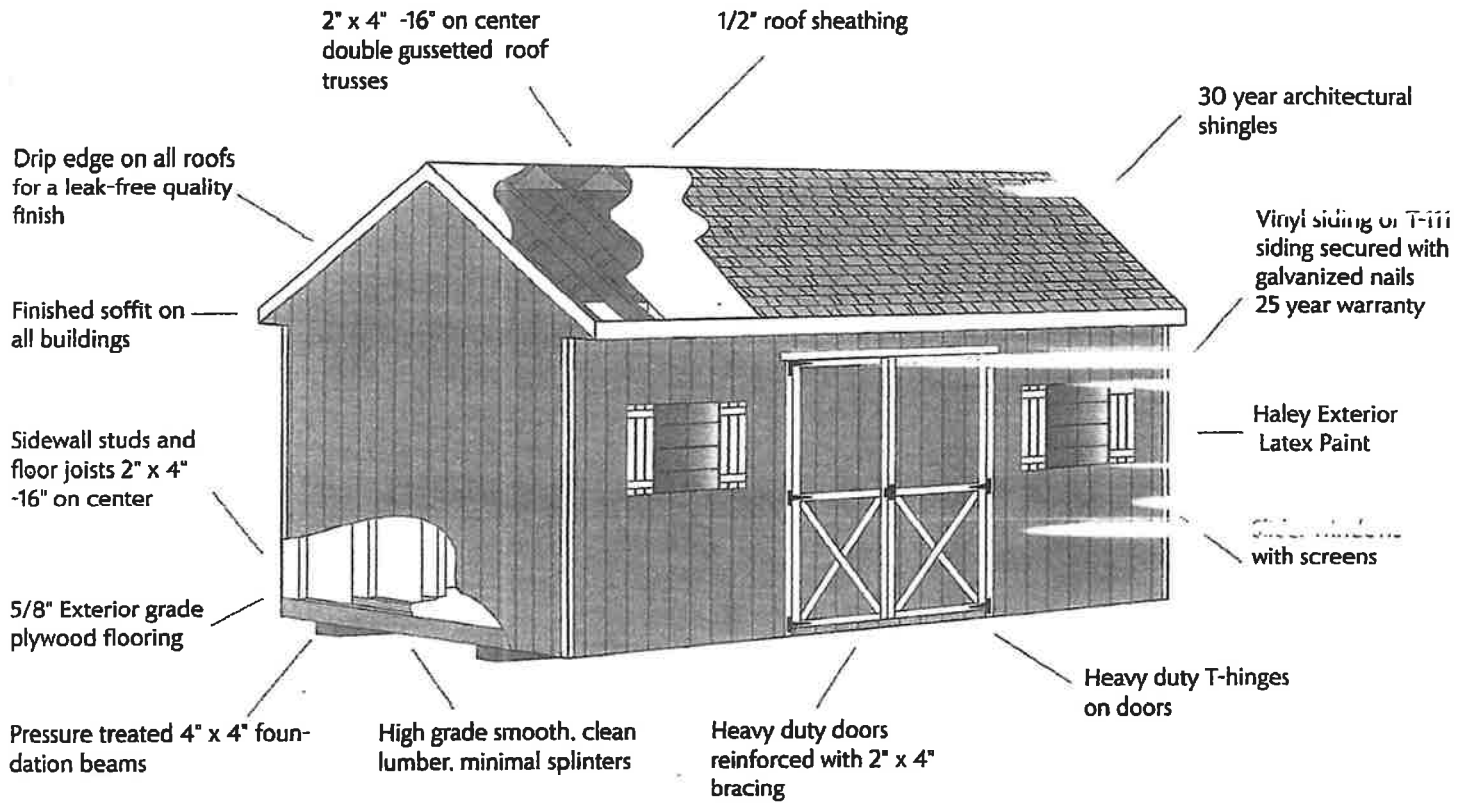
FOR SHEDS, GAZEBOS, AT-GRADE PATIOS, FENCES, AND DRIVEWAYS STOP HERE, ATTACH TWO (2) PLOT PLANS, AND PROVIDE AUTHORIZED SIGNATURE ON PAGE 4. FOR ALL OTHER PROPOSED CONSTRUCTION COMPLETE PAGES 2-3.

Address: _____
Permit #: _____

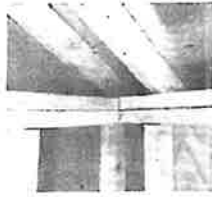


962 GARFIELD AVE LANSDALE PA.

CONSTRUCTION DETAILS



Collar ties are used on all buildings over 18' long.



Double top plates are used on all 4 walls except on Mini-Bam and Townhouse sheds.



Doors are reinforced with 2" x 4" bracing.



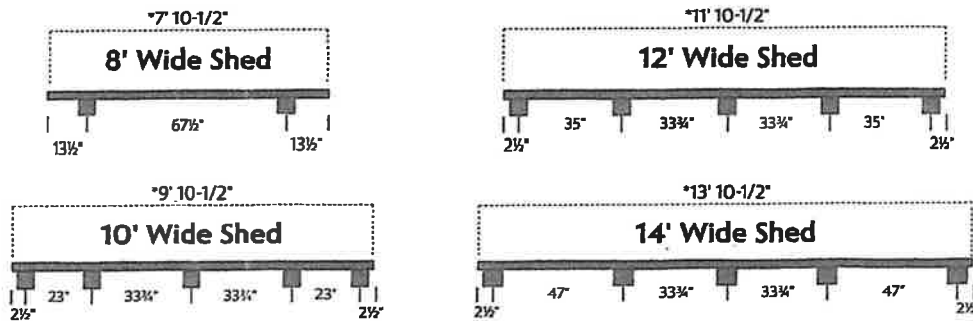
All buildings are fully assembled and delivered to your prepared site. Kits are available if your location is not accessible by truck and trailer.



Accurate machine cut rafters make a tight joint for maximum strength and precise construction.

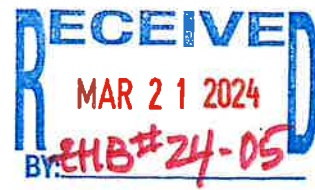
Pressure Treated 4X4 Skids

*Width measurements are the width of the wood floor



For sheds without wood floors, concrete slab should measure 2" less than the width of your shed. And be 1" less than the length of your shed. A 10x16 shed slab needs to be 9' 10" wide by 15' 11" long. The only exception to this rule is the doublewide garages.

ZONING HEARING BOARD
 UPPER GWYNEDD TOWNSHIP
 MONTGOMERY COUNTY, PENNSYLVANIA
 Zoning Ordinance of November 23, 1987 as Amended



Check One Date: 3/15/24
 APPLICATION FOR VARIANCE(S) _____
 APPLICATION FOR SPECIAL EXCEPTION(S) _____
 APPEAL FROM ZONING OFFICER'S _____
 DECISION/DETERMINATION(S) _____

PROPERTY ADDRESS/
 LOCATION 761 Shearer Street LOT SIZE 36400 sf ZONING DISTRICT R-1

Check One (Applicant)
 Owner
 Equitable Owner (under Agreement of Sale)
 Lessor
 Lessee Contractor is Applicant

Home Owner's
 Applicant's Name: Tom and Kristin Diamond
 Address: 761 Shearer St
 Telephone: _____

Check One
 Date Ownership Secured _____
 Date of Agreement of Sale _____
 Date of Lease _____

Contractor's or
 Agent's Name DaVinci Construction Services Public Water Yes No _____
 Public Sewer Yes No _____

Address 801 E PA Blvd, Feasterville, PA 19053
215-900-0355

Give full information as to Section of Zoning Ordinance involved and reasons why the Variance(s), Special Exception(s) or Appeal is desired and why it should be granted.

Building garage that exceeds side yard setback. Converting existing garage into in-law suite and need additional storage/car space.

[Signature]
 Owner's signature, if Applicant is not Owner, agreeing to this Application

Applicant's Signature [Signature]
 Please Print Name: Kevin Pollegriani
 Attorney's Name: _____
 Address: _____
 Telephone: _____

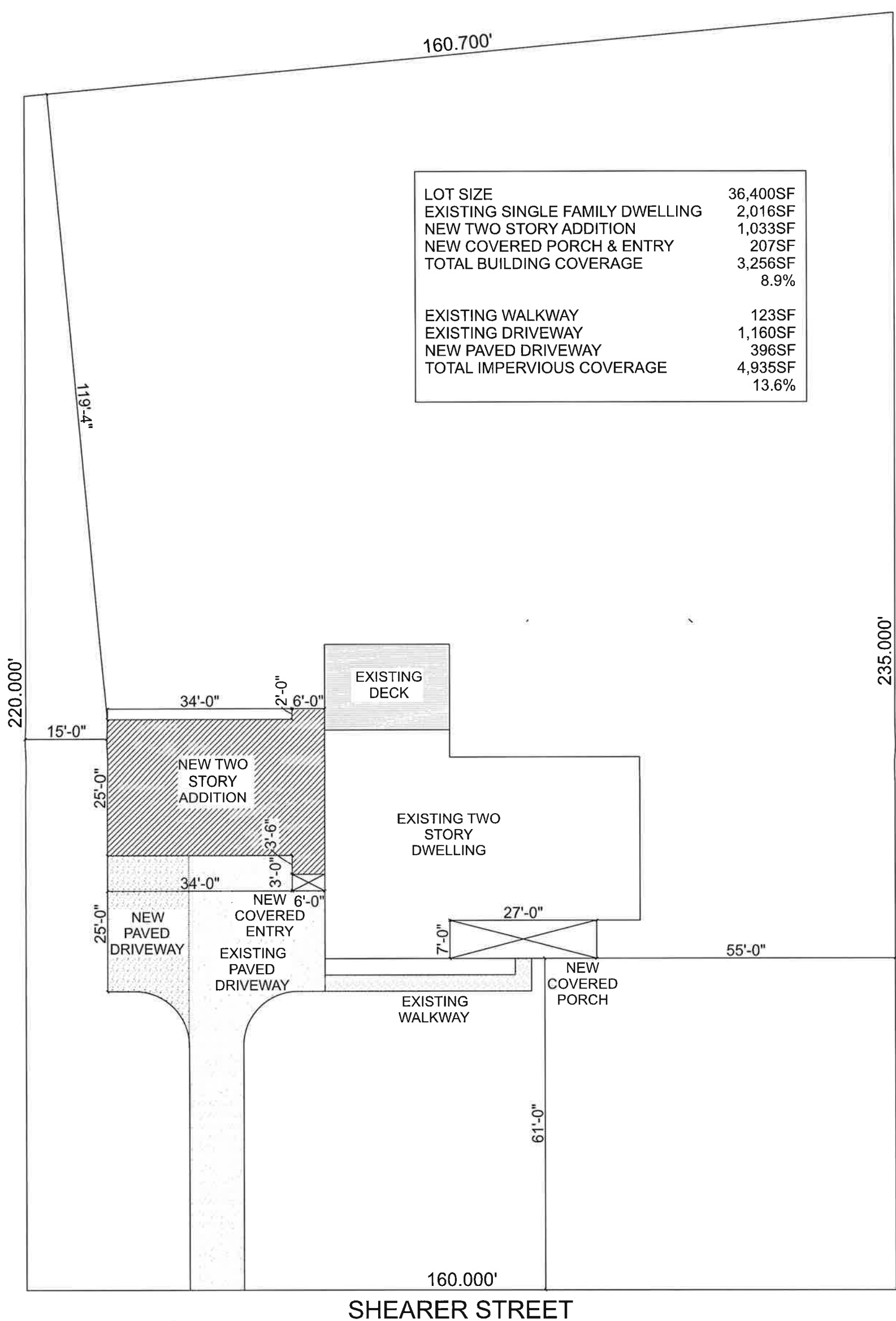
Record of Secretary - Zoning Hearing Board

Application No. _____ Hearing Date(s) _____ Decision Date _____
 VARIANCE(S) Granted _____ Denied _____
 SPECIAL EXCEPTION(S) Granted _____ Denied _____
 APPEAL Granted _____ Denied _____

RESTRICTIONS/CONDITIONS (if any)

- () Zoning Officer
- () Zoning Hearing Board
- () Board of Commissioners
- () Zoning Solicitor

Signature of Secretary _____



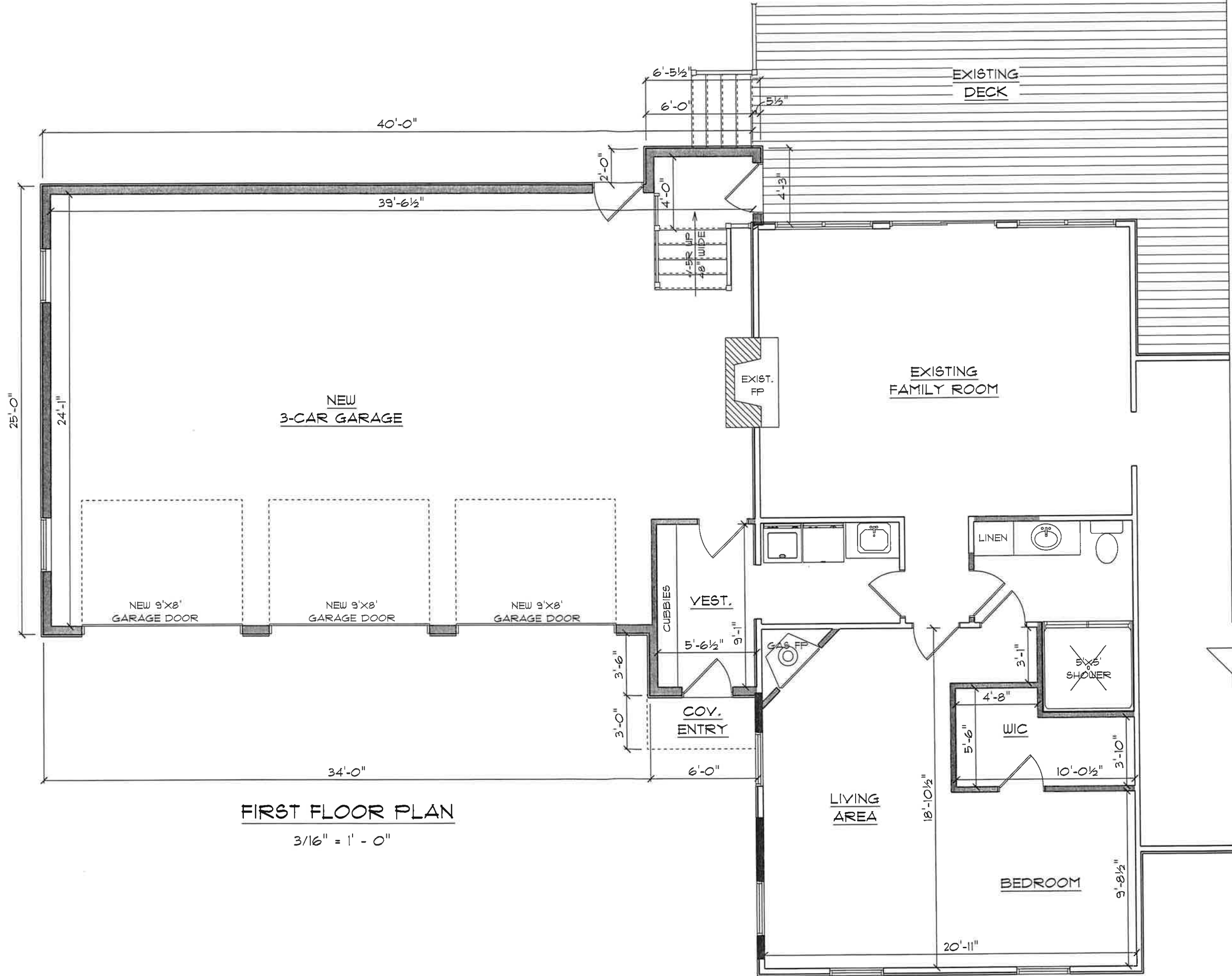
LOT SIZE	36,400SF
EXISTING SINGLE FAMILY DWELLING	2,016SF
NEW TWO STORY ADDITION	1,033SF
NEW COVERED PORCH & ENTRY	207SF
TOTAL BUILDING COVERAGE	3,256SF 8.9%
EXISTING WALKWAY	123SF
EXISTING DRIVEWAY	1,160SF
NEW PAVED DRIVEWAY	396SF
TOTAL IMPERVIOUS COVERAGE	4,935SF 13.6%

**761 SHEARER STREET,
NORTH WALES, PA
UPPER GWYNEDD TOWNSHIP**

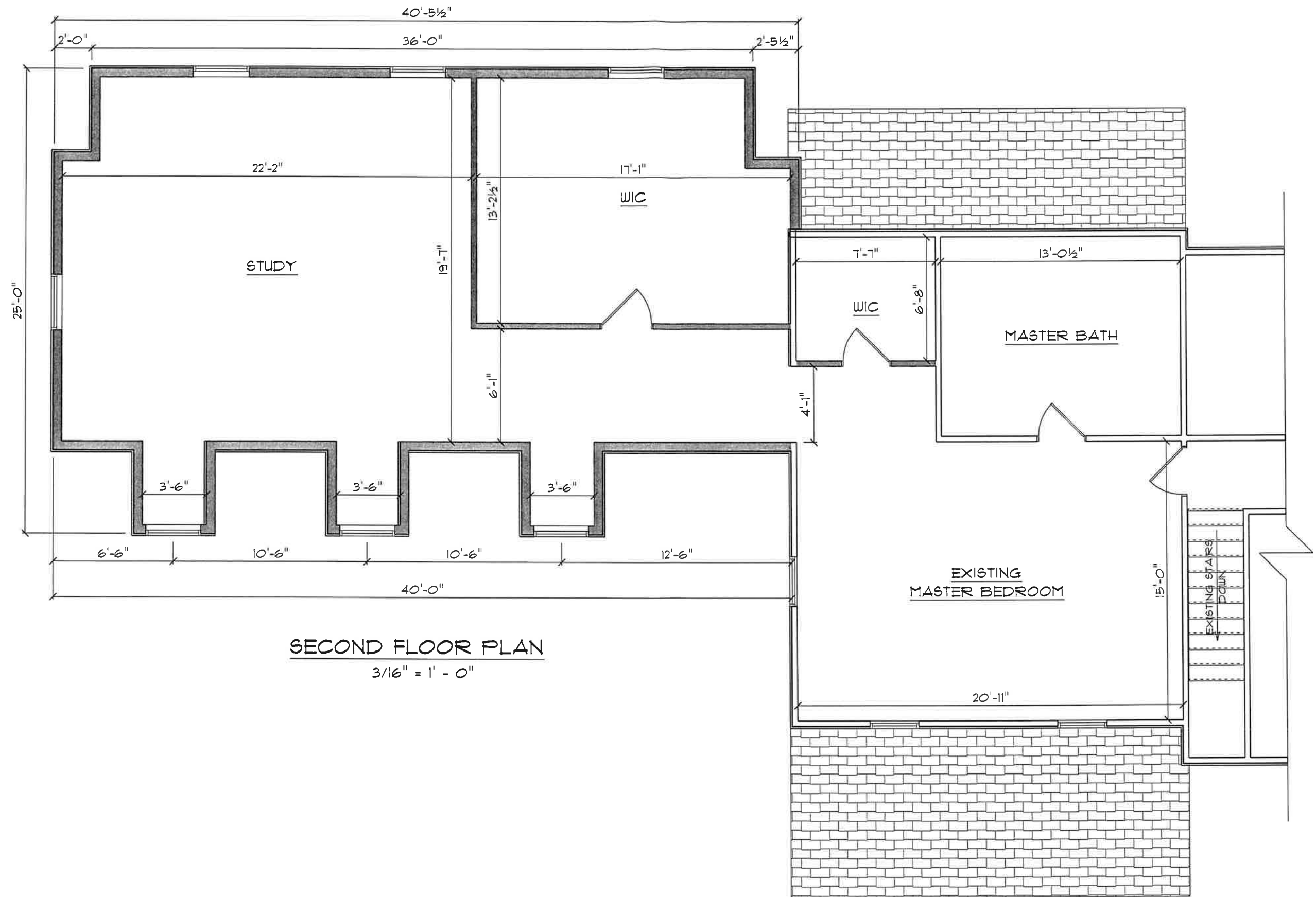
ZONE	R-1
FRONT YARD	60'
REAR YARD	50'
SIDE YARDS	40'/100'
MAX. BLDG COVERAGE	10%

RECEIVED
MAR 21 2024
BY: ZHB 24-05

SITE PLAN
1" = 20'



FIRST FLOOR PLAN
 3/16" = 1' - 0"



SECOND FLOOR PLAN
 3/16" = 1' - 0"



FRONT ELEVATION

1/8" = 1' - 0"

ZONING HEARING BOARD
 UPPER GWYNEDD TOWNSHIP
 MONTGOMERY COUNTY, PENNSYLVANIA
 Zoning Ordinance of November 23, 1987 as Amended

RECEIVED
 MAR 22 2024
 BY ZHUB 21-06

Check One
 APPLICATION FOR VARIANCE(S)
 APPLICATION FOR SPECIAL EXCEPTION(S) _____
 APPEAL FROM ZONING OFFICER'S
 DECISION/DETERMINATION(S) _____

Date: 3/20/24

PROPERTY ADDRESS/
 LOCATION 240 Gwynedd Ave. LOT SIZE 100 X 300 ZONING DISTRICT R2

Check One (Applicant)

Owner
 _____ Equitable Owner (under Agreement of Sale)
 _____ Lessor
 _____ Lessee

Applicant's Name: Andrew Phillip Shaw
 Address: 240 Gwynedd Ave.
 Telephone: _____

Check One
 Date Ownership Secured _____
 Date of Agreement of Sale _____
 Date of Lease _____

Contractor's or
 Agent's Name _____

Public Water Yes No _____
 Public Sewer Yes No _____

Address _____

Give full information as to Section of Zoning Ordinance involved and reasons why the Variance(s), Special Exception(s) or Appeal is desired and why it should be granted.

- Seeking Dimensional Variance for existing ~1900 sqft 5 bd, 1.5 bath single home
 Looking to add to Rear of home over existing Pad foot print
 Please See Attached Plans proposed ~768 sq. ft 2 story addition.

Owner's signature, if Applicant
 is not Owner, agreeing to this
 Application

Applicant's Signature _____
 Please Print Name: Andrew Phillip Shaw
 Attorney's Name: _____
 Address: _____
 Telephone: _____

Record of Secretary - Zoning Hearing Board

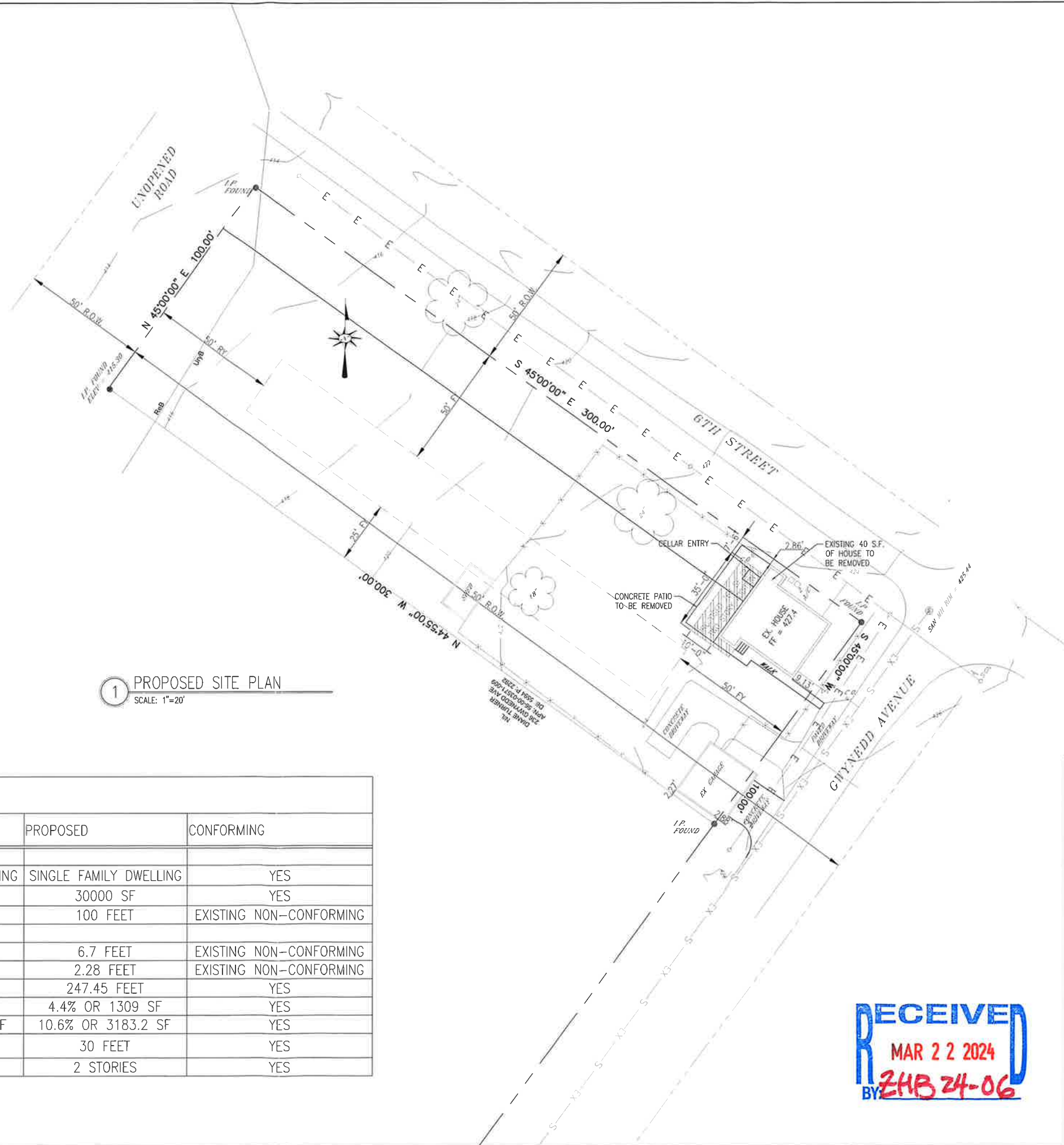
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RESTRICTIONS/CONDITIONS (if any)

- () Zoning Officer
- () Zoning Hearing Board
- () Board of Commissioners
- () Zoning Solicitor

Signature of Secretary _____



1 PROPOSED SITE PLAN
SCALE: 1"=20'

ZONING CONFORMANCE SCHEDULE					
NO.	ITEM	REQUIRED/PERMITTED	EXISTING	PROPOSED	CONFORMING
1.	DISTRICT	R-2			
2.	USE	SINGLE FAMILY DWELLING	SINGLE FAMILY DWELLING	SINGLE FAMILY DWELLING	YES
3.	LOT AREA	21780 SF MIN.	30000 SF	30000 SF	YES
4.	LOT FRONTAGE	120 FEET	100 FEET	100 FEET	EXISTING NON-CONFORMING
5.	YARD SETBACKS				
	FRONT YARD	50 FEET	6.7 FEET	6.7 FEET	EXISTING NON-CONFORMING
	SIDE YARD	25 FEET	2.28 FEET	2.28 FEET	EXISTING NON-CONFORMING
	REAR YARD	50 FEET	257.45 FEET	247.45 FEET	YES
6.	BUILDING COVERAGE	35%	3.3% OR 1000 SF	4.4% OR 1309 SF	YES
7.	IMPERVIOUS COVERAGE	50%	11.2% OR 3357.5 SF	10.6% OR 3183.2 SF	YES
8.	BUILDING HEIGHT	40 FEET	30 FEET	30 FEET	YES
9.	NUMBER OF HABITABLE STORIES	3 STORIES	2 STORIES	2 STORIES	YES

CONTRACTOR/BUILDER:

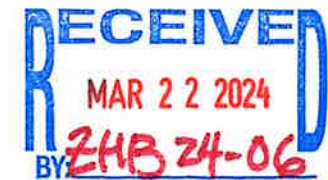
SHEET: PROPOSED SITE PLAN AND
ZONING CONFORMANCE SCHEDULE

REVISION: DATE:

DRAWING SET:
ISSUE FOR REVIEW

PROJECT #: E23181
DATE: 11/15/2023
DRAWN BY: MJK
CHECKED BY: SWM
APPROVED BY: WJM

DWG No:



PROPOSED TWO-STORY ADDITION

240 GWYNEDD AVE.

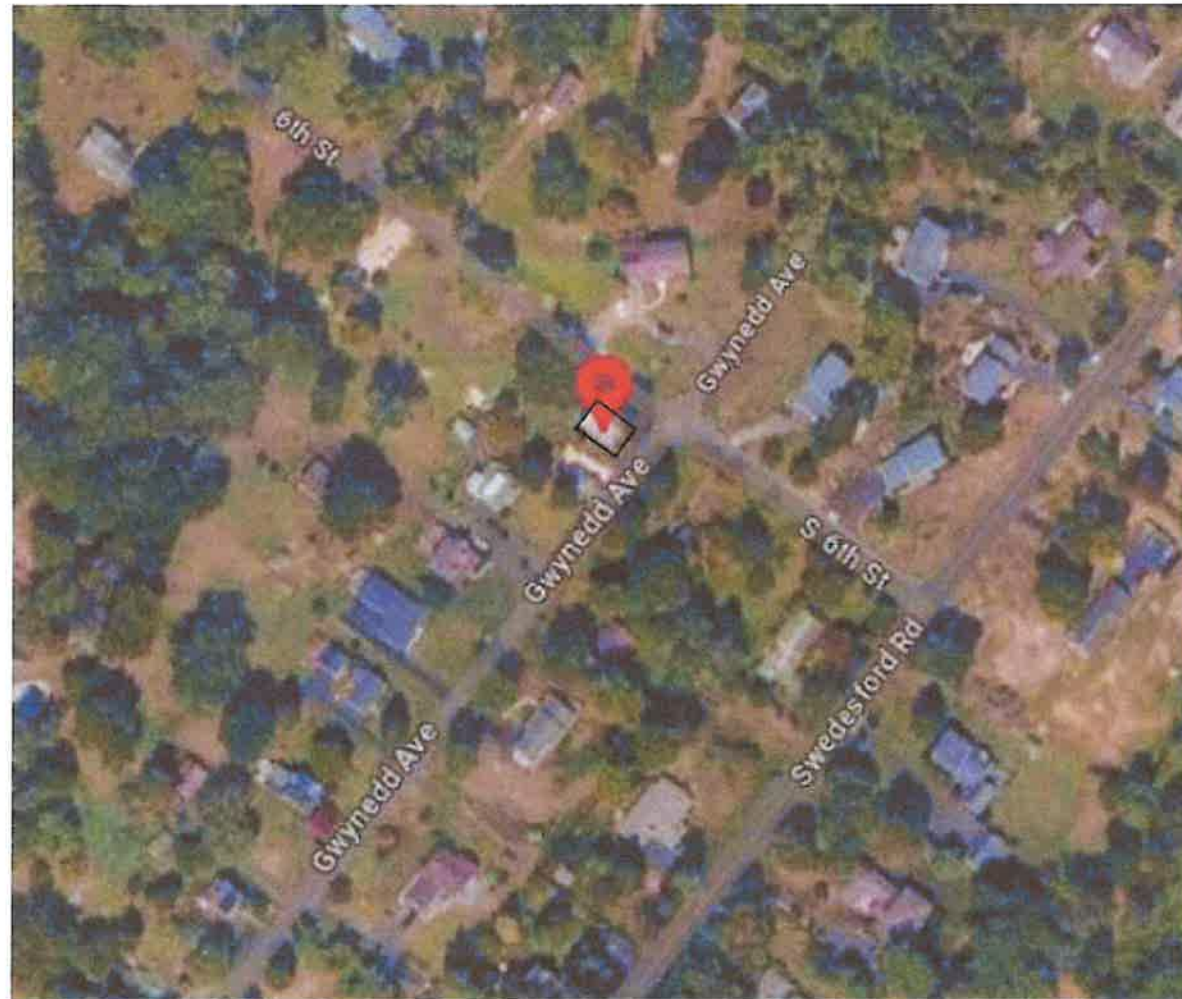
NORTH WALES, PA 19454

PROJECT SCOPE:

PROPOSED 2-STORY ADDITION AND INTERIOR RENOVATION.

BUILDING DATA:

DESIGN CODES: IRC 2018



PROJECT LOCATION

DRAWING LIST

<u>DRAWING NUMBER:</u>	<u>DRAWING NAME:</u>
CS	COVER SHEET
GN	GENERAL NOTES
D1	DEMO PLAN
A1	PROPOSED FLOOR PLAN
A2	EXISTING ELEVATIONS
A3	PROPOSED ELEVATIONS
S1	FOUNDATION PLAN
S2	FRAMING PLAN
S3	ROOF FRAMING PLAN



WJM Engineering Inc.
Structural - Consulting - Design
252 W. SWAMP RD. SUITE #3
DOYLESTOWN PA 18901
PHONE: 215.283.3434

CONTRACTOR/BUILDER:
ANDREW PHILLIPS-SHAW
240 GWYNEDD AVE
NORTH WALES PA 19454

COVER SHEET

PROJECT:
PROPOSED TWO-STORY ADDITION
ISSUED FOR CLIENT REVIEW
NOT FOR CONSTRUCTION

DRAWING SCALE:
AS NOTED

PROJECT #: AD24002

DATE: 3/11/2024

DRAWN BY: MJK

CHECKED BY: SWM

APPROVED BY: WJM

DWG No.:

CS

GENERAL NOTES:

1.0 GENERAL

- CONSTRUCTION SHALL CONFORM TO THE 2018 INTERNATIONAL RESIDENTIAL CODE AND ALL APPLICABLE FEDERAL, STATE, AND LOCAL CODE REQUIREMENTS. THIS GENERAL NOTE SHEET ONLY COVERS MAJOR CODE REQUIREMENTS. ALL RELEVANT BUILDING CODE REQUIREMENTS SHALL BE MET IN ADDITION TO THE REQUIREMENTS LISTED IN THESE GENERAL NOTES.
- CONTRACTOR/BUILDER SHALL BE RESPONSIBLE FOR INITIATING, MAINTAINING AND SUPERVISING ALL SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE WORK.
- THE CONTRACTOR/BUILDER SHALL SUPERVISE AND DIRECT THE WORK. HE SHALL BE SOLELY RESPONSIBLE FOR MEANS, METHODS, TECHNIQUES, SEQUENCES, AND PROCEDURES OF CONSTRUCTION.
- CONTRACTOR/BUILDER SHALL BE RESPONSIBLE FOR ASSURING THAT ALL CONSTRUCTION CONFORMS TO ALL APPLICABLE BUILDING CODES AND INDUSTRY STANDARDS, INCLUDING FEDERAL, STATE AND LOCAL CODES.
- CONTRACTOR/BUILDER SHALL BE RESPONSIBLE FOR ACQUIRING ALL BUILDING PERMITS, AND SCHEDULING OF ALL INSPECTIONS.
- FINAL DOOR & WINDOW TYPES, SIZES AND OPTIONS SHALL BE SPECIFIED BY THE CONTRACTOR/BUILDER.
- CONTRACTOR/BUILDER SHALL BE RESPONSIBLE TO ASSURE THAT ALL BUILDING COMPONENTS ARE INSTALLED PER MANUFACTURER'S SPECIFICATIONS AND APPLICABLE BUILDING CODES.
- CONTRACTOR IS RESPONSIBLE FOR CONTACTING THE PENNSYLVANIA ONE CALL SYSTEM AT 1-800-242-1776 TO HAVE ANY AND ALL UNDERGROUND PIPING AND WIRING LOCATIONS IDENTIFIED PRIOR TO ANY EXCAVATION WORK.
- SMOKE DETECTORS AND CARBON MONOXIDE DETECTORS PER LOCAL CODE OR R313.1.1.
- FIBER-CEMENT, FIBER-MAT REINFORCED CEMENT, GLASS MAT GYPSUM BACKERS OR FIBER-REINFORCED GYPSUM BACKERS INSTALLED PER MANUFACTURER SPECIFICATIONS SHALL BE USED AS BACKERS FOR WALL TILE IN TUB AND SHOWER AREAS AND WALL PANELS IN SHOWER AREAS.
- SLIDING GLASS DOORS, PATIO DOORS, DOOR SIDELIGHTS AND WINDOWS AS SPECIFIED BY IRC 2018 MUST BE SAFETY GLAZED.
- ENCLOSED ACCESSIBLE SPACE UNDER STAIRS SHALL HAVE WALLS, UNDER-STAIR SURFACE AND SOFFIT PROTECTED ON THE ENCLOSED SIDE WITH 1/2 INCH GYPSUM BOARD.
- FINAL EXTERIOR DOOR/WINDOW SELECTIONS BY CONTRACTOR/BUILDER.
- INTERIOR FINISHES, DOOR, TRIM, HARDWARE, FIXTURES, ETC. BY CONTRACTOR/BUILDER.

2.0 SITE GRADING

- LOT SHALL BE GRADED SO AS TO DRAIN SURFACE WATER AWAY FROM FOUNDATION WALLS. THE GRADE SHALL FALL A MINIMUM OF 6" IN THE FIRST 10'.
- GRADE SHALL BE ADJUSTED TO AVOID THE USE OF WINDOW WELLS IF ALLOWABLE.

3.0 EGRESS

- BASEMENTS WITH HABITABLE SPACE AND EVERY SLEEPING ROOM SHALL HAVE AT LEAST ONE OPENABLE EMERGENCY ESCAPE AND RESCUE WINDOW OR EXTERIOR DOOR OPENING. WINDOWS SHALL HAVE A MINIMUM OF 5.7 SQ. FT. OPENABLE AREA (MIN. 5 SQ. FT. FOR GRADE FLOOR OPENINGS) WITH MAXIMUM SILL HEIGHT 44" ABOVE FINISH FLOOR (MIN. OPENING HEIGHT 24") (MIN. OPENING WIDTH 20").

4.0 FOUNDATIONS

- ALL PLAN AND REINFORCED CONCRETE SHALL COMPLY WITH REQUIREMENTS IN ACI 318.
- CONCRETE SHALL HAVE A MINIMUM SPECIFIED COMPRESSIVE STRENGTH AS FOLLOWS, UNLESS NOTED OTHERWISE:
 - FOOTINGS: 2,500 PSI
 - FOUNDATION WALLS AND INTERIOR SLABS ON GRADE: 3,000 PSI
 - GARAGE SLABS, EXTERIOR SLABS, PORCHES, AND EXTERIOR STEPS: 3,500 PSI
- FOUNDATION DESIGN IS BASED ON PRESUMED SOIL BEARING CAPACITY OF 2000 PSF. CONDITIONS OTHER THAN 2000 PSF SHALL BE BROUGHT TO THE ATTENTION OF THE DESIGNER.
- BASEMENT WALLS, FOUNDATION WALLS, EXTERIOR WALLS, PORCHES, STEPS, AND OTHER VERTICAL CONCRETE WORK EXPOSED TO WEATHER SHALL BE AIR-ENTRAINED CONCRETE. TOTAL AIR CONTENT (PERCENT BY VOLUME OF CONCRETE) SHALL BE NOT LESS THAN 5 PERCENT OR MORE THAN 7 PERCENT FOR AIR-ENTRAINED CONCRETE.
- FOUNDATION FOOTING DEPTH TO FROST IN ACCORDANCE WITH LOCAL CODE. (MIN. 30").
- CONCRETE AND MASONRY FOUNDATIONS SHALL HAVE AN APPROVED DRAINAGE SYSTEM INSTALLED IN ACCORDANCE WITH IRC 2018.
- DRAINS SHALL BE PROVIDED AROUND ALL CONCRETE OR MASONRY FOUNDATIONS THAT RETAIN EARTH AND ENCLOSE HABITABLE OR USEABLE SPACES LOCATED BELOW.
- 4" DIAMETER PERFORATED PIPE SHALL BE PLACED ON A MINIMUM OF 2 INCHES OF WASHED GRAVEL OR CRUSHED ROCK AT LEAST ONE SIEVE SIZE LARGER THAN THE PERFORATION AND COVERED WITH AN APPROVED FILTER MEMBRANE MATERIAL. PERFORATED PIPE SHALL DISCHARGE TO A SUMP PIT OR BY GRAVITY TO DAYLIGHT.
- CONCRETE AND MASONRY FOUNDATION WALLS SHALL BE WATERPROOFED FROM THE TOP OF THE FOOTING TO THE FINISHED GRADE WITH SIX-MIL POLYVINYL CHLORIDE, SIX-MIL POLYETHYLENE, OR AN APPROVED WATERPROOFING METHOD PER IRC 2015.
- WOOD SILL PLATES SHALL BE FASTENED TO FOUNDATIONS WITH 1/2" DIAMETER ANCHOR BOLTS PLACED 6"-0" O.C. WITH A MINIMUM EMBEDMENT OF 2" INTO CONCRETE FOUNDATION UNLESS NOTED OTHERWISE. ANCHOR BOLTS SHALL BE LOCATED 1'-0" MAXIMUM FROM ALL CORNERS AND THE ENDS OF EACH PLATE SECTION.
- UNTREATED WOOD SHALL BE A MINIMUM OF 8" ABOVE FINISHED GRADE.
- BOTTOM PLATES ON SLABS TO BE PRESSURE TREATED MATERIAL.
- IN ACCORDANCE WITH ACI 332-14, DURING ANTICIPATED AMBIENT TEMPERATURE CONDITIONS OF 35° F OR LESS, COLD WEATHER CONCRETING TECHNIQUES SHALL BE USED TO MAINTAIN CONCRETE TEMPERATURE ABOVE FREEZING UNTIL A CONCRETE COMPRESSIVE STRENGTH OF 500 PSI HAS BEEN REACHED.
- CONCRETE BASEMENT WALLS 8 FT. OR LESS IN HEIGHT SHALL HAVE CONTINUOUS HORIZONTAL REINFORCEMENT OF MINIMUM ONE #4 BAR WITH 12 INCHES OF THE TOP OF WALL STORY AND ONE #4 BAR NEAR MID-HEIGHT OF THE WALL STORY.
- CONCRETE BASEMENT WALLS 8 FT. OR LESS IN HEIGHT SHALL HAVE CONTINUOUS HORIZONTAL REINFORCEMENT OF MINIMUM ONE #4 BAR WITH 12 INCHES OF THE TOP OF WALL STORY AND ONE #4 BAR NEAR THIRD POINTS IN THE WALL STORY.
- MINIMUM VERTICAL REINFORCEMENT FOR CONCRETE AND MASONRY WALL PER IRC 2018 OR ACI 318, WHICHEVER IS MORE CONSERVATIVE.
- FOUNDATION WALLS SHALL CONNECT TO FOOTINGS BY DOWELS AND/OR A CONTINUOUS KEYWAY.
 - #4 DOWELS SHALL EXTEND A MINIMUM OF 18 INCHES INTO THE WALL AND 6 INCHES INTO THE FOOTING AT A MAXIMUM OF 24 INCHES ON CENTER ALONG THE FOOTINGS.
 - A CONTINUOUS KEYWAY SHALL BE FORMED IN THE FOOTING LOCATED WITHIN THE MIDDLE 1/3 OF THE WALL. THE KEYWAY SHALL BE A SPECIFIED MINIMUM OF 1 1/2 INCH DEEP AND 1 1/2 INCH WIDE AT THE TOP.
- A MINIMUM OF 2#4 BARS SHALL BE PLACED IN THE LONGITUDINAL DIRECTION IN CONTINUOUS WALL FOOTINGS.
- CONCRETE FOUNDATION WALL DESIGN IS BASED ON LATERAL SOIL PRESSURE OF 45 PSF/FT WITH NO SURCHARGE OR HYDROSTATIC PRESSURE. NOTIFY ENGINEER IF ACTUAL CONDITIONS VARY FROM BASIS OF DESIGN.

5.0 DESIGN LOADS

- DESIGN LOADS PER IRC 2018 FOR ONE- AND TWO-FAMILY DWELLINGS UNLESS NOTED OTHERWISE BY CALCULATIONS.

DESIGN LIVE LOADS:

FLOOR LIVING AREAS = 40 PSF
 SLEEPING AREAS = 30 PSF
 GARAGES = 50 PSF OR 2,000 PSF OVER 20 SQUARE INCHES
 ATTICS WITH LIMITED STORAGE = 20 PSF
 ROOF LIVE LOAD = 20 PSF

WIND LOADING:
 V = 115 MPH, RISK CATEGORY II

SNOW LOADING:
 GROUND SNOW LOAD = 30 PSF

ALLOWABLE DEFLECTION FOR STRUCTURAL MEMBERS PER IRC 2018

6.0 FRAMING

- LUMBER SHALL BE STRUCTURAL GRADE #2 HEM-FIR OR BETTER. LUMBER SHALL HAVE A MINIMUM MODULUS OF ELASTICITY OF 1,300,000 PSI.
- LAMINATED VENEER LUMBER (LVL) SHALL HAVE A MINIMUM ALLOWABLE BENDING STRESS OF 3100 PSI, MINIMUM ALLOWABLE SHEAR STRESS OF 300 PSI, AND MINIMUM MODULUS OF ELASTICITY OF 2,000,000 PSI.
- WINDOW AND DOOR HEADERS SHALL BE 2 PLY 2X6 OR AS NOTED.
- EXTERIOR AND LOAD BEARING WALLS SHALL BE 2X4 STUD CONSTRUCTION WITH STUD PLACEMENT 16" O.C. MAXIMUM UNLESS OTHERWISE NOTED.
- EXTERIOR SHEATHING SHALL BE APA RATED OSB OR PLYWOOD SHEATHING WITH A MINIMUM THICKNESS OF 1/2". EXTERIOR WALL SHEATHING SHALL BE FASTENED TO STUDS WITH MINIMUM 8D COMMON NAILS 6" O.C., EDGE SPACING AND 12" O.C. FIELD SPACING UNLESS NOTED OTHERWISE. ALL PANEL EDGES SHALL BE BLOCKED AND NAILED WITH EDGE SPACING.
- MULTI PLY SAWN LUMBER BEAMS AND HEADERS SHALL BE NAILED WITH 2 ROWS OF 10D NAILS @ 8" O.C. MULTI PLY LVL BEAMS AND HEADERS SHALL BE NAILED OR BOLTED IN ACCORDANCE WITH LVL MANUFACTURER'S SPECIFICATIONS.
- APPROVED HANGERS SHALL BE PROVIDED WHERE LOADS ARE TRANSFERRED IN THE SAME HORIZONTAL PLANE. HANGERS SHALL BE FASTENED AND NAILED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS. "SIMPSON" OR APPROVED EQUIVALENT HANGERS SHALL BE INSTALLED.
- FASTENERS AND CONNECTORS FOR PRESSURE PRESERVATIVE TREATED WOOD SHALL BE HOT-DIPPED GALVANIZED STEEL OR SIMPSON Z-MAX COATED PER IRC 2018.
- FLOOR JOISTS SHALL BE INSTALLED 16" O.C. UNLESS OTHERWISE NOTED. 23/32 OSB T&G SHEATHING SHALL BE INSTALLED PER MANUFACTURER SPECIFICATIONS UNLESS SPECIFIED OTHERWISE. SHEATHING SHALL BE GLUED AND NAILED (OR FASTENED MECHANICALLY WITH AN APPROVED ALTERNATIVE) TO JOISTS WITH APPROVED STRUCTURAL ADHESIVE AND MINIMUM 8D COMMON NAILS 6" O.C., EDGE SPACING AND 12" O.C. FIELD SPACING. ALL T&G JOISTS SHALL BE GLUED.
- UNLESS OTHERWISE NOTED ON PLAN, PROVIDE SOLID BLOCKING IN ALL JOIST CAVITIES BELOW COLUMNS, JACKS, AND ALL POINT LOADS FROM ABOVE. BLOCKING SHALL BE NO.2 SPF OR BETTER AND SHALL PROVIDE FULL BEARING.

7.0 ENERGY/INSULATION

- WOOD FRAMED WALLS SHALL HAVE R-15 INSULATION PLUS R-5 CONTINUOUS INSULATION FOR DWELLINGS LOCATED IN CLIMATE ZONE 4A.
- CEILINGS SHALL HAVE R-49 INSULATION FOR CLIMATES ZONES 4A.
- FENESTRATIONS SHALL HAVE A MAXIMUM U FACTOR OF 0.32 FOR CLIMATE ZONE 4A.
- FLOORS OVER UNCONDITIONED SPACE SHALL HAVE R-19 INSULATION FOR CLIMATE ZONE 4A.

8.0 ATTIC

- ENCLOSED ATTICS SHALL HAVE SOFFIT VENTILATION WITH A LEAST DIMENSION OF 1/16" MINIMUM AND 1/4" MAXIMUM. A MINIMUM OF 1" SPACING SHALL BE PROVIDED BETWEEN THE INSULATION AND THE ROOF SHEATHING AT THE LOCATION OF THE VENT SO THAT THE INSULATION DOES NOT BLOCK THE FREE FLOW OF AIR PER IRC 2018.
- ATTICS SHALL HAVE A ROUGH-FRAMED OPENING NOT LESS THAN 22" X 30" LOCATED IN A HALLWAY OR OTHER READILY ACCESSIBLE LOCATION TO PROVIDE ATTIC ACCESS PER IRC 2018. ACCESS DOORS SHALL BE WEATHER STRIPPED AND INSULATED.
- A RIDGE VENT OR ROOF VENTS LOCATED IN THE UPPER PORTION OF THE ATTIC SPACE AND SOFFIT/EAVE VENTS WITH A MINIMUM NET FREE VENTILATING AREA NOT LESS THAN 1/150 PER IRC 2018 SECTION 806.2 SHALL BE PROVIDED.

9.0 ROOF

- 7/16" APA RATED OSB OR PLYWOOD ROOF SHEATHING SHALL BE INSTALLED WITH MINIMUM 8D COMMON NAILS 6" O.C. PERIMETER AND 12" O.C. FIELD SPACING OR PER LOCAL CODE OR WEATHER POTENTIAL FOR 24" O.C. ROOF FRAMING.
- APPROVED ICE AND WATER SHIELD SHALL BE APPLIED AT EAVES AND VALLEYS.
- NO. 15 ASPHALT FELT UNDERLAYMENT SHALL BE APPLIED DIRECTLY TO ROOF SHEATHING.

10.0 EXTERIOR COVERING

- ONE LAYER OF NO. 15 ASPHALT FELT, TYVEK HOUSEWRAP, OR OTHER APPROVED WATER-RESISTIVE BARRIER, COMPLYING WITH ASTM D 226 FOR TYPE 1 FELT SHALL BE APPLIED OVER STUDS AND SHEATHING ON ALL EXTERIOR WALLS. HOUSEWRAP SHALL BE APPLIED HORIZONTALLY WITH THE UPPER LAYER LAPPED OVER THE LOWER LAYER A MINIMUM OF 2 INCHES HORIZONTALLY AND 6 INCHES VERTICALLY. THE HOUSEWRAP SHALL BE CONTINUOUS TO THE TOP OF WALLS. ALL VERTICAL AND HORIZONTAL SEAMS SHALL BE TAPED.
- WINDOWS SHALL BE INSTALLED AND FLASHED IN ACCORDANCE WITH WINDOW MANUFACTURER'S SPECIFICATIONS.

11.0 EXTERIOR FACADES

- STONE, BRICK, STUCCO, SIDING, AND OTHER FACADES AND ASSOCIATED WEATHER RESISTIVE BARRIERS AND WEEP SCREEDS SHALL BE INSTALLED PER MANUFACTURER SPECIFICATIONS AND SHALL MEET REQUIREMENTS IN IRC 2018.

12.0 STEEL

- WIDE FLANGE BEAMS AND GIRDERS (W SHAPES) SHALL BE ASTM DESIGNATION A992 WITH A MINIMUM YIELD STRESS OF 50 KSI.
- M, S, C, MC, AND L SHAPES SHALL BE ASTM DESIGNATION A36 WITH A MINIMUM YIELD STRESS OF 36 KSI.
- REINFORCING STEEL (REBAR) DESIGNATED ASTM A615 SHALL HAVE A MINIMUM YIELD STRESS OF 60 KSI.
- BOLTS SHALL BE ASTM DESIGNATION A307 WITH A MINIMUM ULTIMATE TENSILE STRESS OF 58 KSI UNLESS OTHERWISE NOTED.
- STEEL COLUMNS SHALL BE 3" DIA. SCHEDULE 40 PIPE DESIGNATED ASTM A 53 GRADE B OR APPROVED EQUIVALENT UNLESS OTHERWISE NOTED.

13.0 GARAGE

- GARAGE SLAB SHALL BE SLOPED TOWARD OVERHEAD DOORS. (MIN. 3")
- GARAGE SLAB SHALL BE 4" 3500 PSI CONCRETE WITH 6X6 -W1.4 X W1.4 W.W.M. ON COMPACTED OR UNDISTURBED SOIL WITH 6 MIL POLY VAPOR BARRIER.
- OPENINGS BETWEEN THE GARAGE AND RESIDENCE SHALL BE EQUIPPED WITH SOLID WOOD DOORS NOT LESS THAN 1 3/8" IN THICKNESS. SOLID, OR HONEYCOMB CORE STEEL DOORS NOT LESS THAN 1 3/8 INCHES THICK, OR 20-MINUTE FIRE-RATED DOORS.
- GARAGES SHALL BE SEPARATED FROM THE RESIDENCE AND ATTICS WITH NOT LESS THAN 1/2 INCH GYPSUM BOARD OR EQUIVALENT APPLIED TO THE GARAGE SIDE.
- GARAGES SHALL BE SEPARATED FROM ALL HABITABLE ROOMS ABOVE THE GARAGE WITH NOT LESS THAN 5/8 INCH TYPE X GYPSUM BOARD OR EQUIVALENT.

14.0 GYPSUM

- ALL GYPSUM WALLBOARD SHALL BE A MINIMUM 1/2" THICK OR 5/8" TYPE X (FIRE RATED) AS REQUIRED.
- WATER-RESISTANT DRYWALL SHALL BE INSTALLED AT ALL WET LOCATIONS (BATHROOMS, KITCHENS, LAUNDRY ROOMS, ETC.)

15.0 GUTTERS AND DOWNSPOUTS

- ALL GUTTERS SHALL BE SEAMLESS ALUMINUM, HALF ROUND SINGLE BEAD, WITH BAKED ENAMEL FINISH AND COMPLIMENTARY LEADERS.
- GUTTERS AND DOWNSPOUTS SHALL BE INSTALLED AS REQUIRED TO DIVERT ROOF STORMWATER RUNOFF AWAY FROM WALKWAYS AND THE FOUNDATION.



WJM Engineering Inc.

Structural - Consulting - Design
252 W. SWAMP RD. SUITE #3
DOYLESTOWN PA 18901
PHONE: 215.263.3434

CONTRACTOR/BUILDER:
ANDREW PHILLIPS-SHAW
240 GWYNEDD AVE
NORTH WALES PA 19454

GENERAL NOTES

PROJECT:
PROPOSED TWO-STORY ADDITION
ISSUED FOR CLIENT REVIEW
NOT FOR CONSTRUCTION

DRAWING SCALE:
AS NOTED

PROJECT #: AD24002

DATE: 3/11/2024

DRAWN BY: MJK

CHECKED BY: SWM

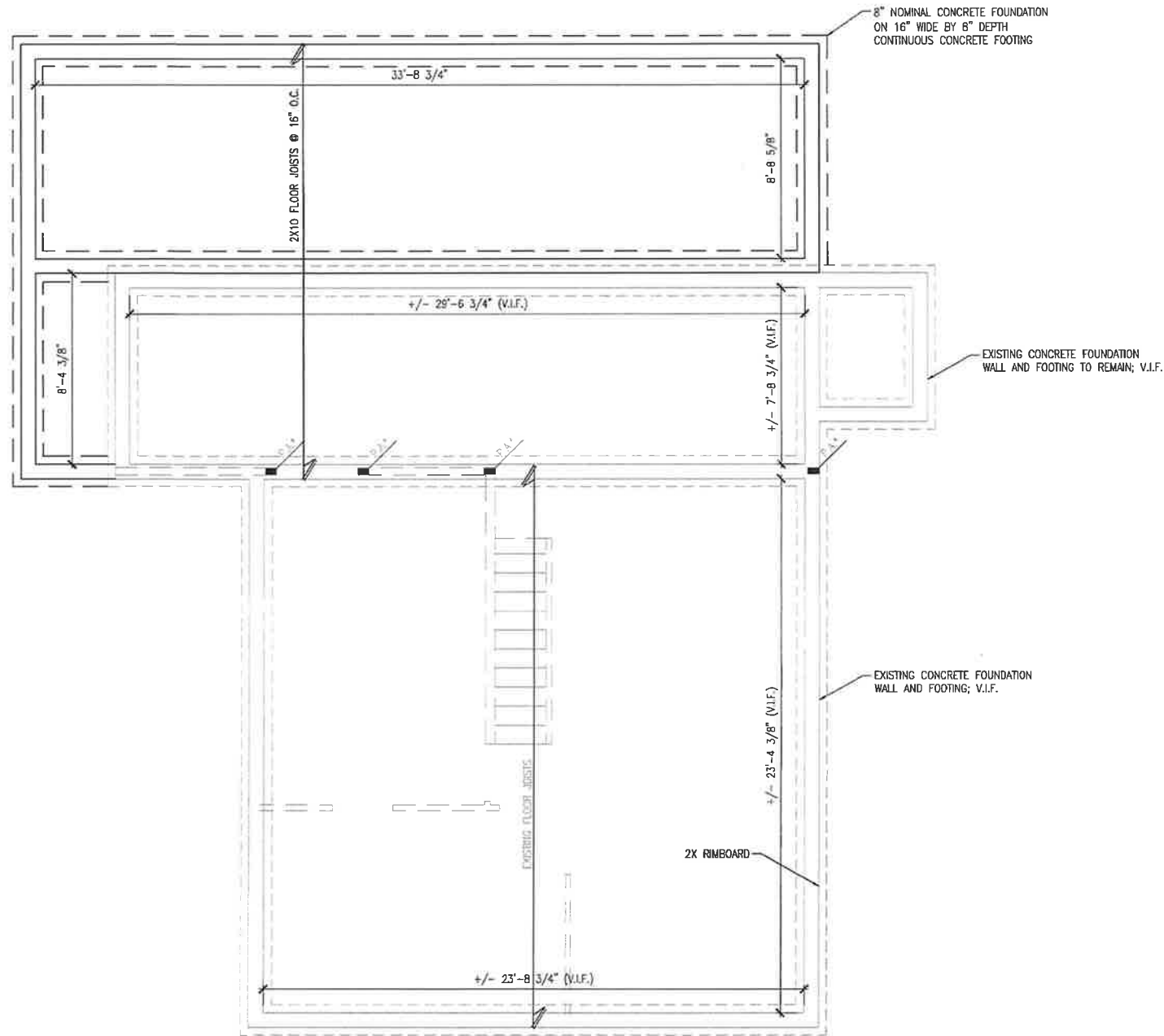
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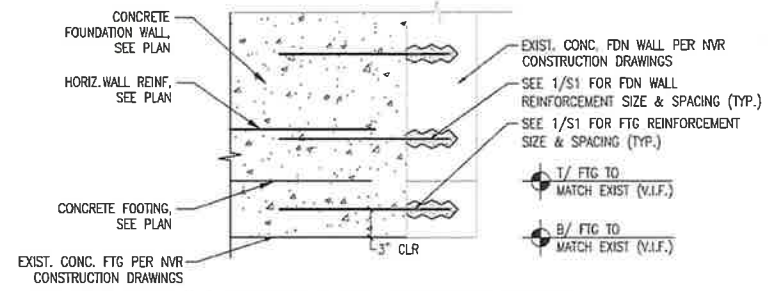
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NOTE: STRUCTURAL MEMBERS ARE PLACEHOLDERS AND SUBJECT TO CHANGE BEFORE FINAL STRUCTURAL DESIGN.



1 FOUNDATION PLAN
SCALE: 1/4"=1'-0"



2 FOUNDATION RETROFIT DETAIL
SCALE: 3/4"=1'-0"



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240 GHWYENED AVE
NORTH WALES PA 19454

FOUNDATION PLAN

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NOT FOR CONSTRUCTION

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DATE: 3/11/2024

DRAWN BY: MJK

CHECKED BY: SWM

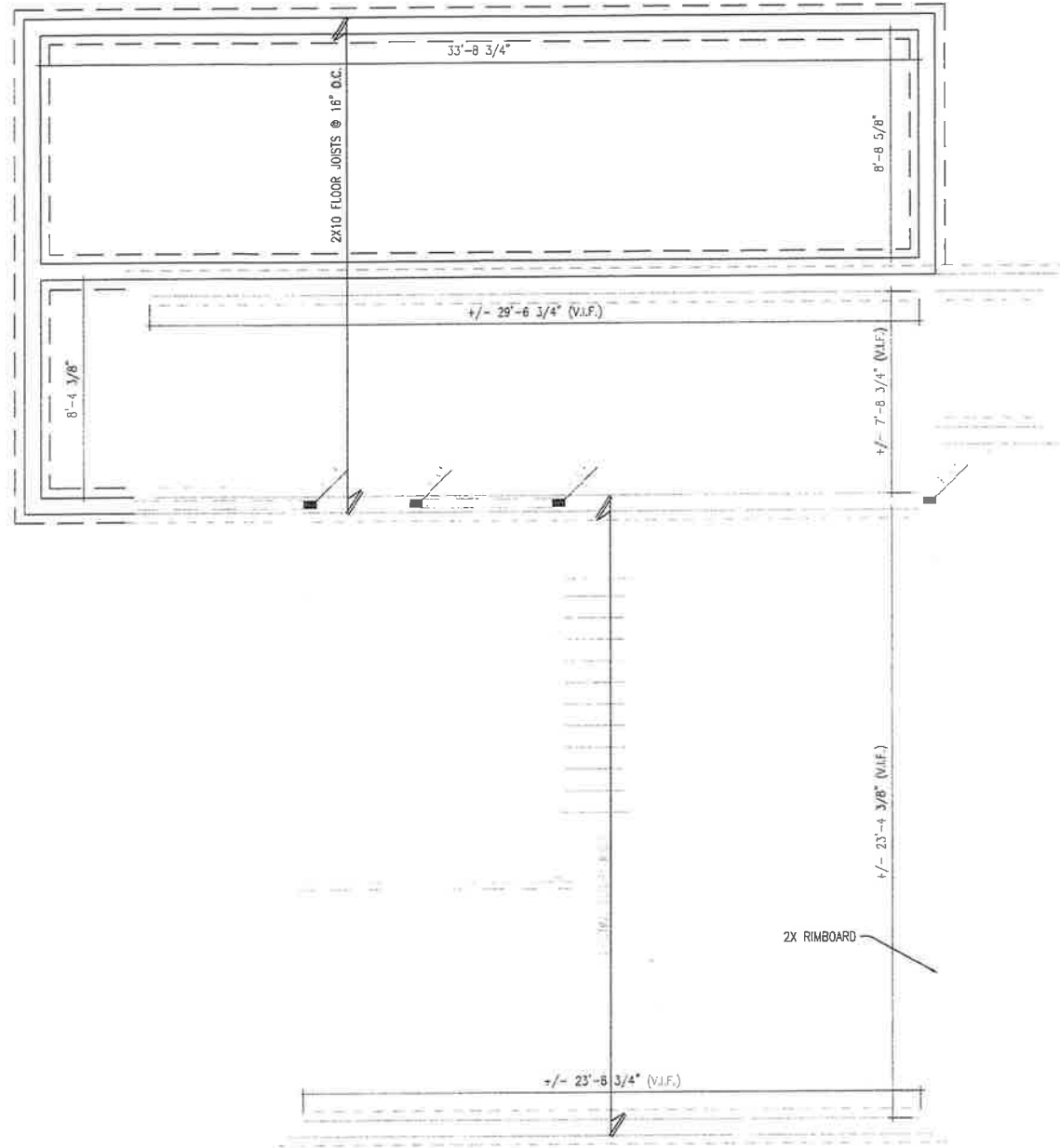
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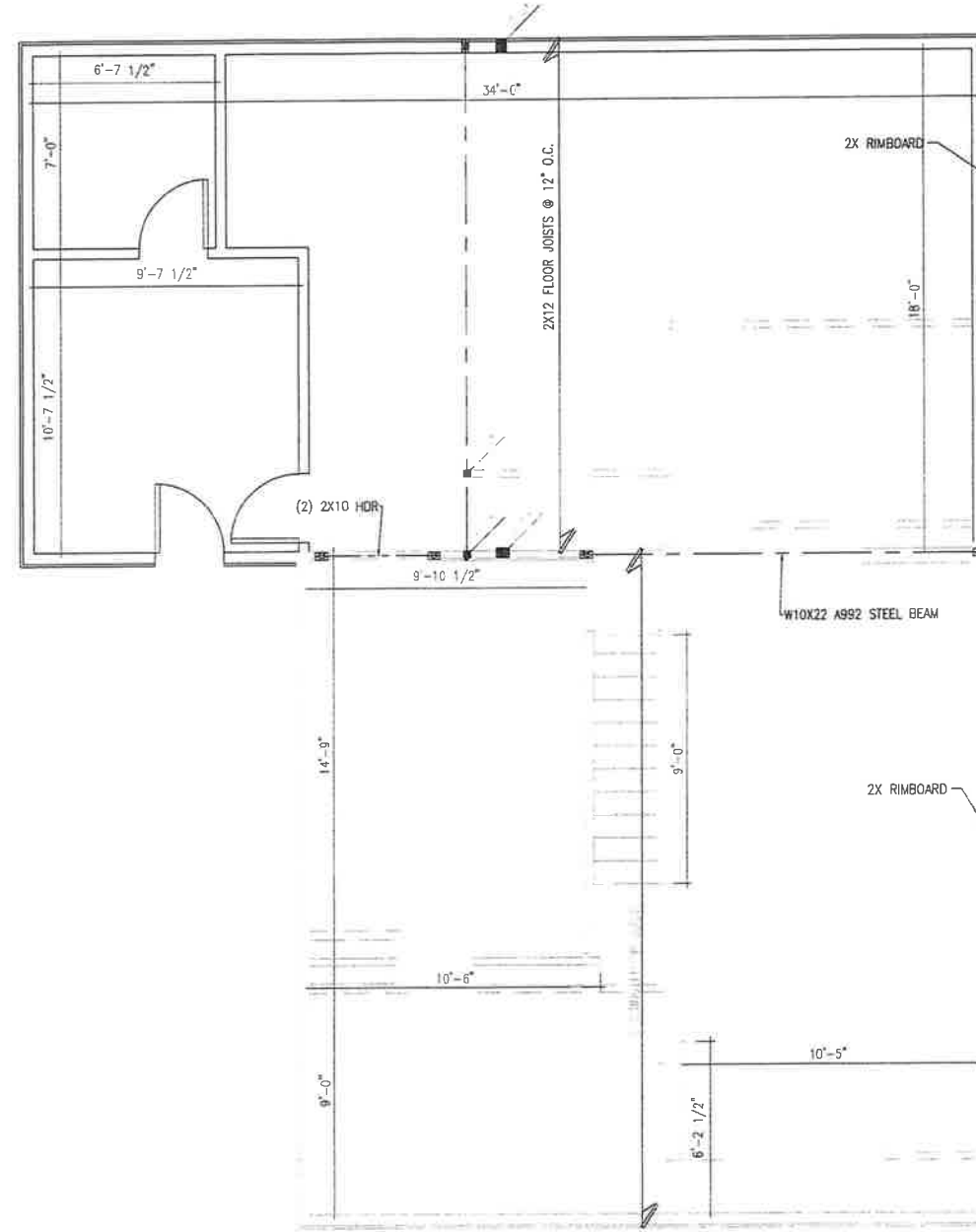
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1 FIRST FLOOR FRAMING PLAN
SCALE: 1/4"=1'-0"



2 SECOND FLOOR FRAMING PLAN
SCALE: 1/4"=1'-0"



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DOYLESTOWN PA 18901
PHONE: 215.283.3434

ANDREW PHILLIPS-SHAW

240 GWYNEDD AVE
NORTH WALES PA 19454

CONTRACTOR/BUILDER:

FRAMING PLAN

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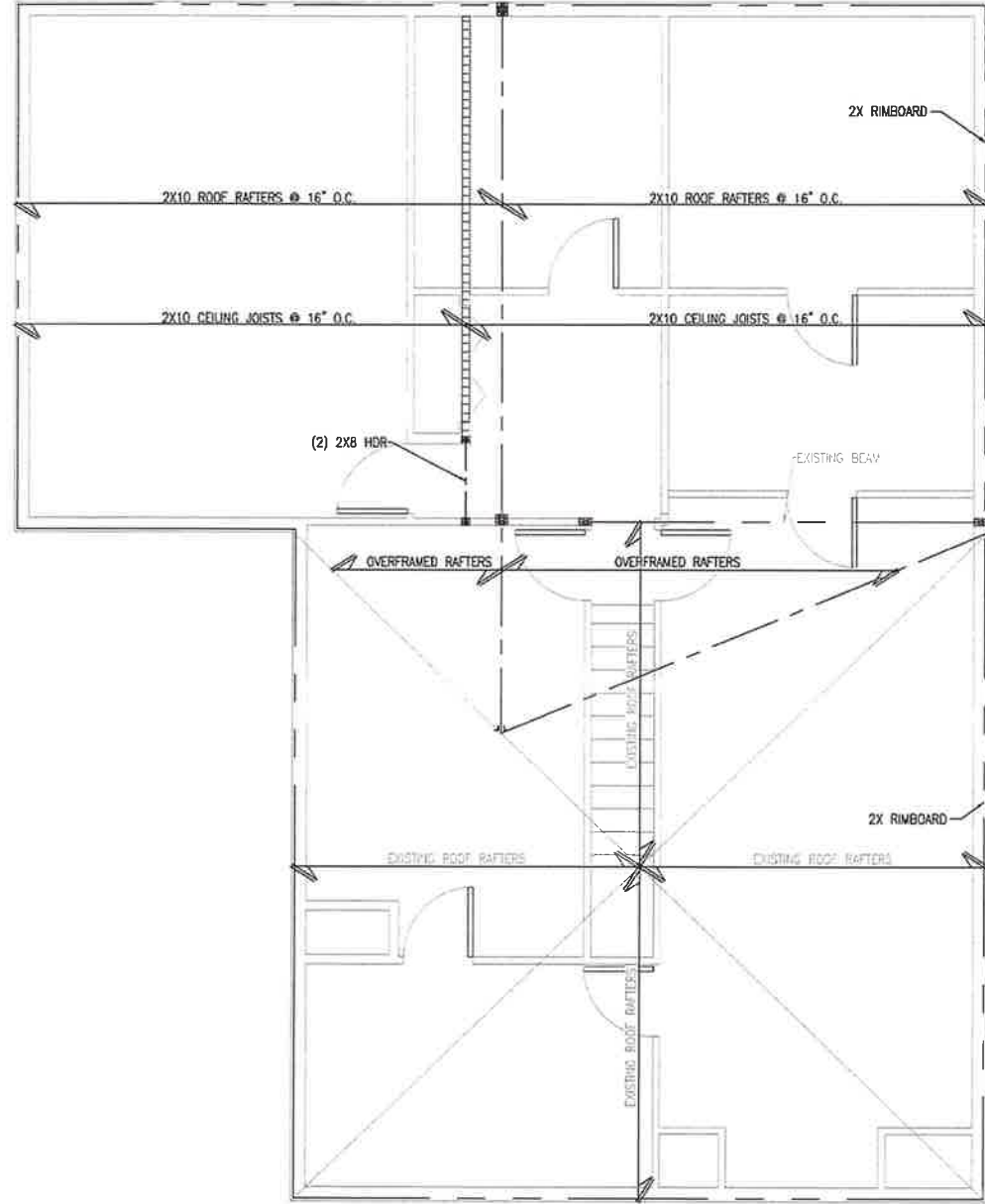
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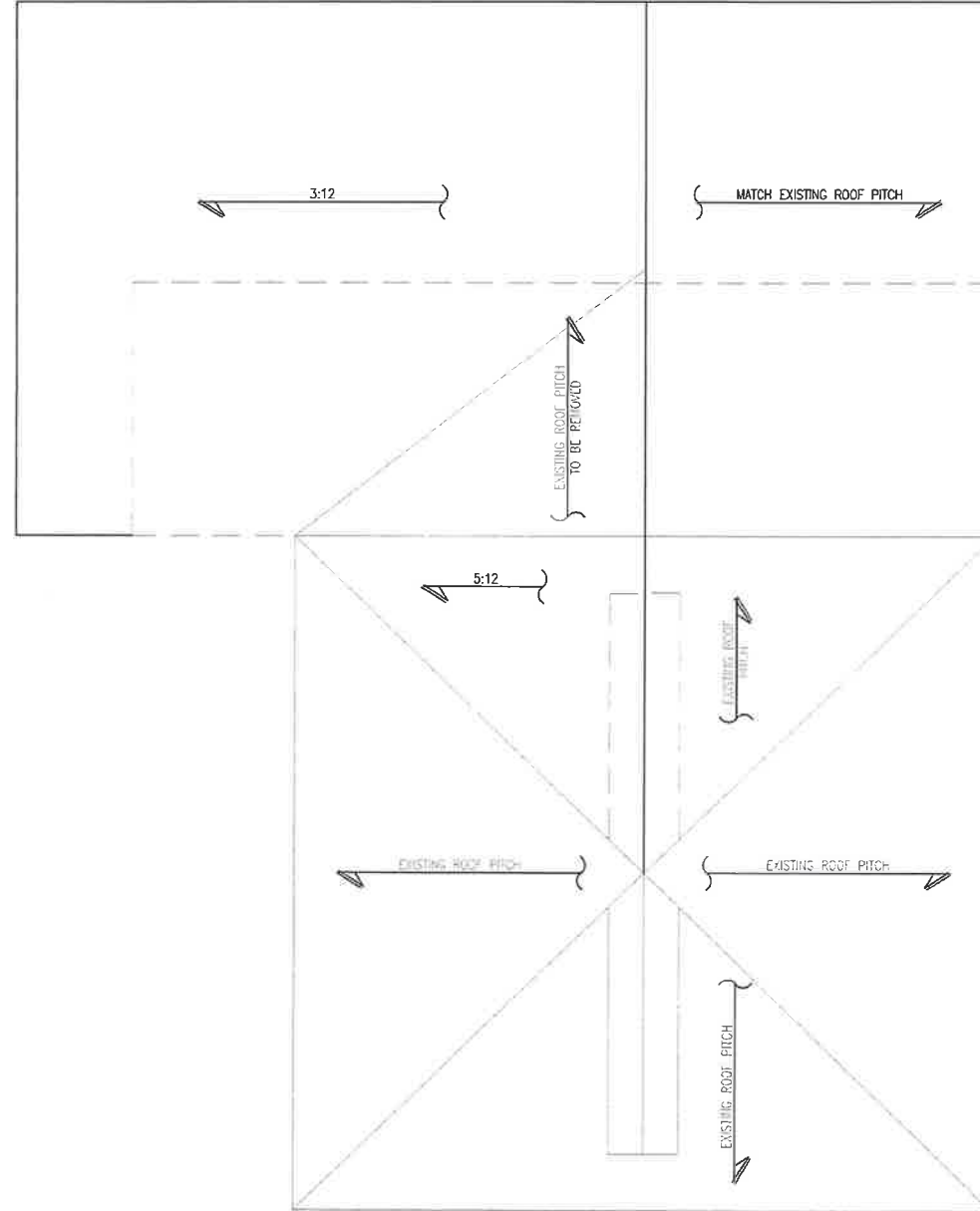
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1 ROOF FRAMING PLAN
SCALE: 1/4"=1'-0"



2 ROOF PLAN
SCALE: 1/4"=1'-0"



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DOYLESTOWN PA 18901
PHONE: 215.283.3434

CONTRACTOR/BUILDER:

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240 GWYNEDD AVE
NORTH WALES PA 19454

FRAMING PLAN

PROJECT:
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DRAWING SCALE:
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PROJECT #: AD24002

DATE: 3/11/2024

DRAWN BY: MJK

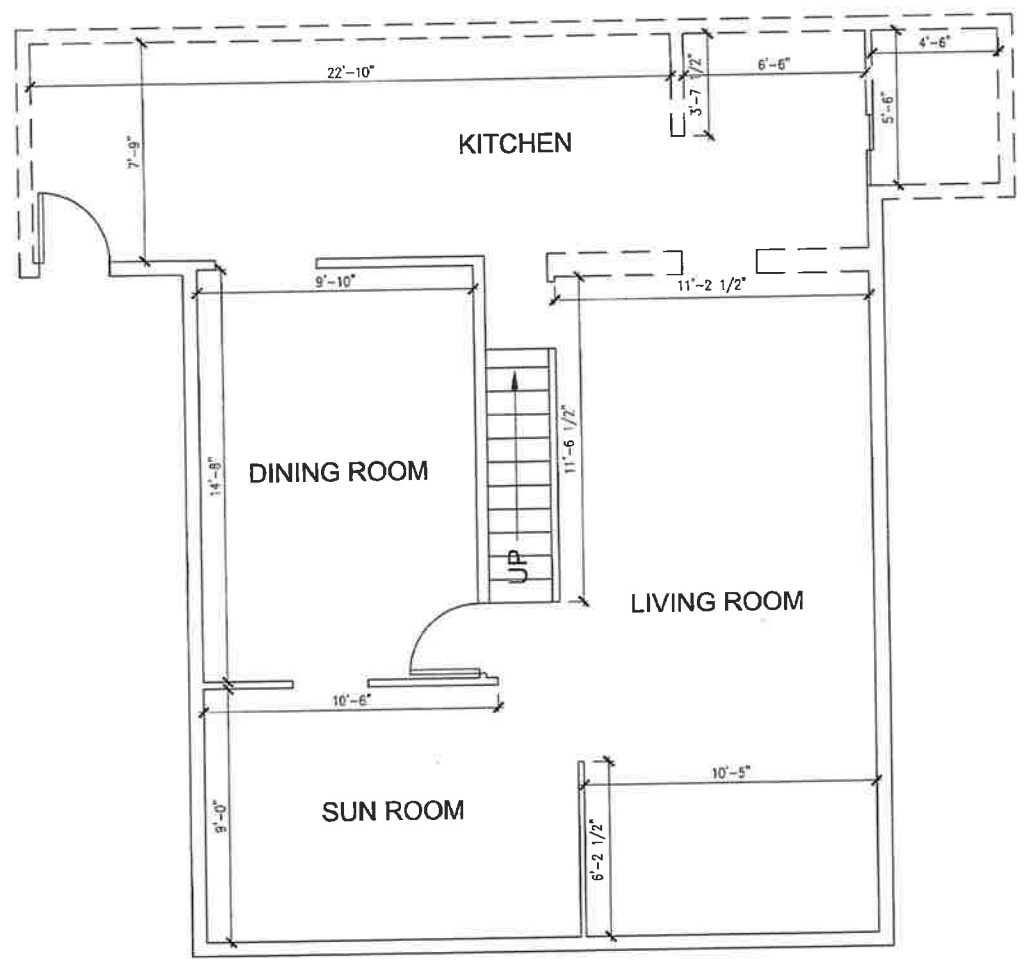
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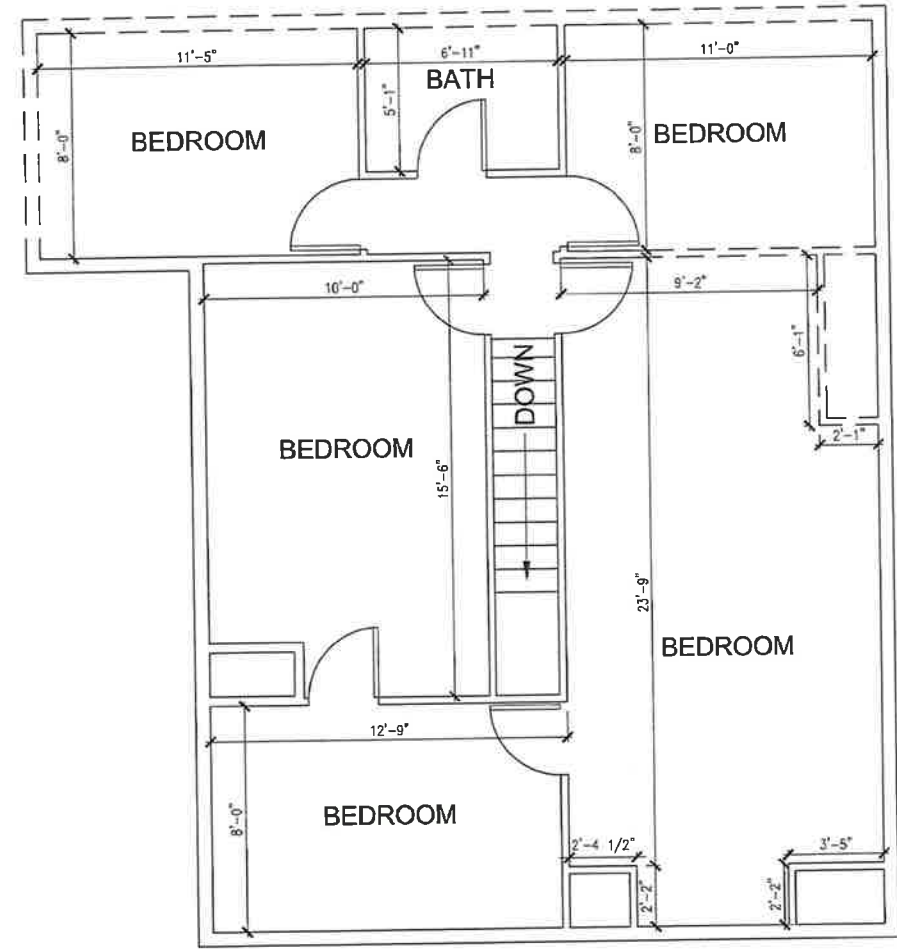
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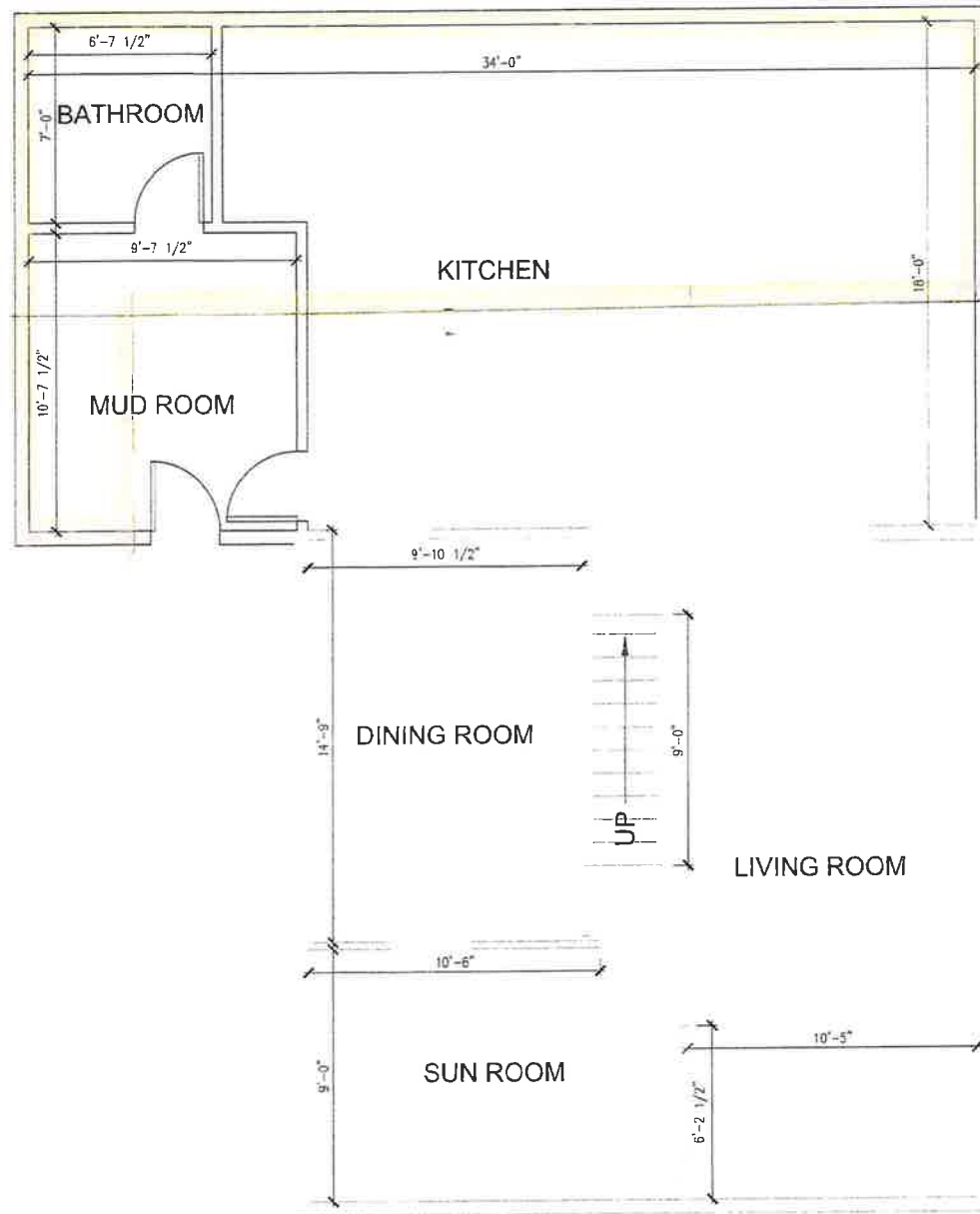


1 FIRST FLOOR DEMO PLAN
SCALE: 1/4"=1'-0"

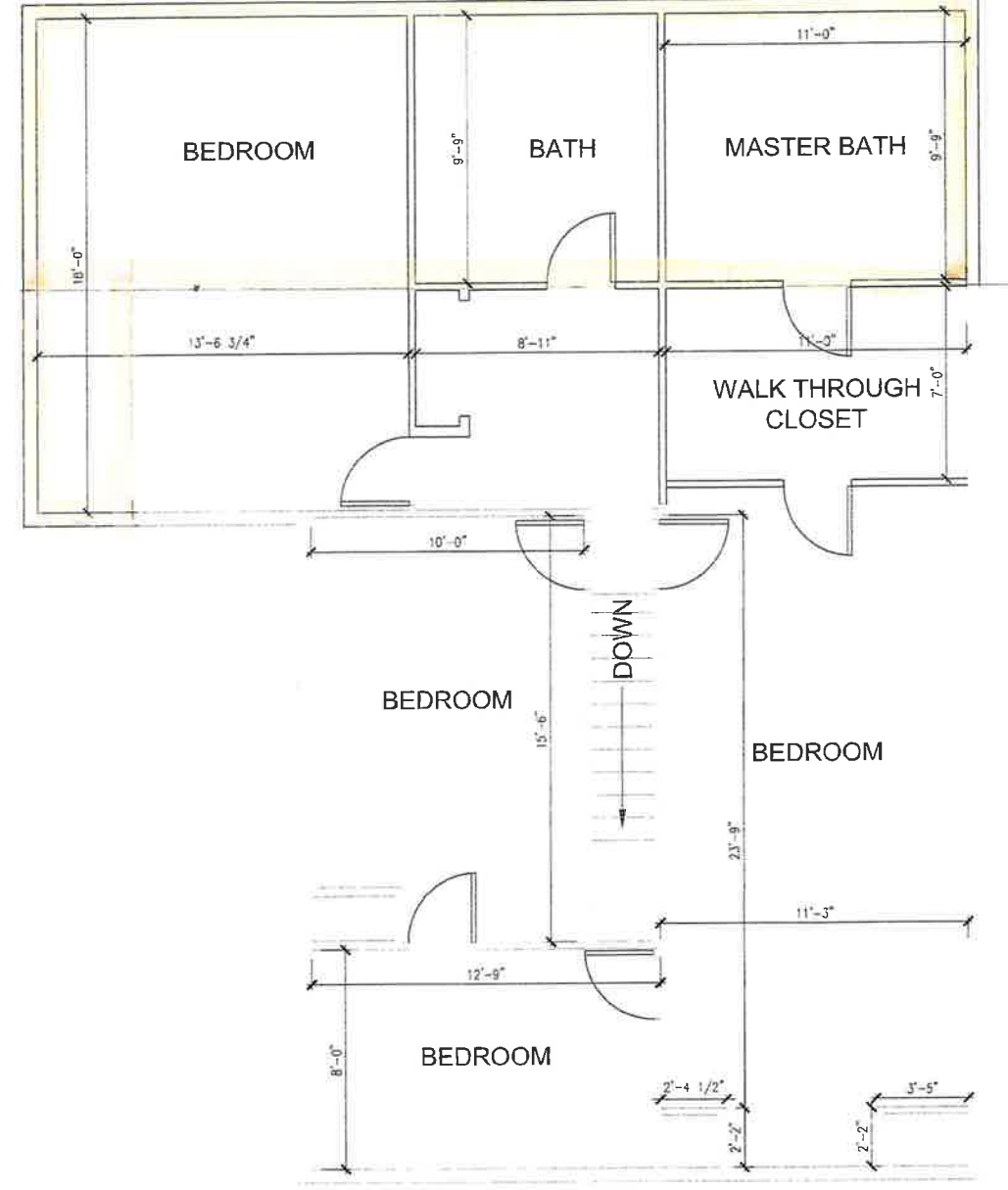


2 SECOND DEMO FLOOR PLAN
SCALE: 1/2"=1'-0"

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1 FIRST FLOOR PLAN
SCALE: 1/4"=1'-0"



2 SECOND FLOOR PLAN
SCALE: 1/4"=1'-0"

NOTE: HEEL JOINT CONNECTION
FASTENED W/ (4) 16D COMMON
NAILS PER HEEL JOINT SPLICE



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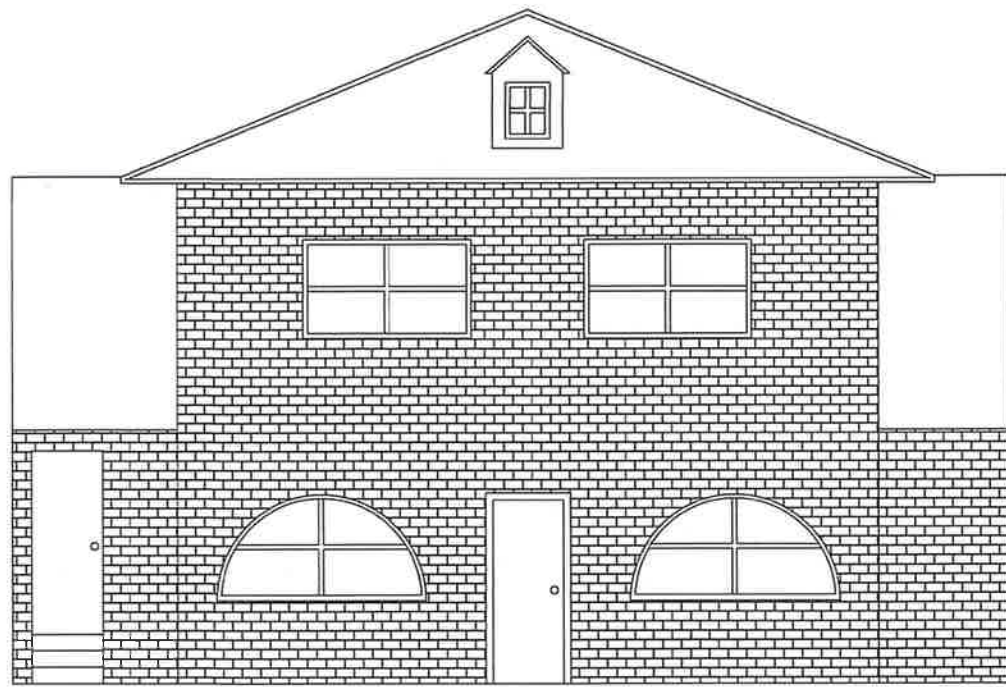
CONTRACTOR/BUILDER:
ANDREW PHILLIPS-SHAW
240 GWYNEDD AVE
NORTH WALES PA 19454

PROPOSED FLOOR PLAN

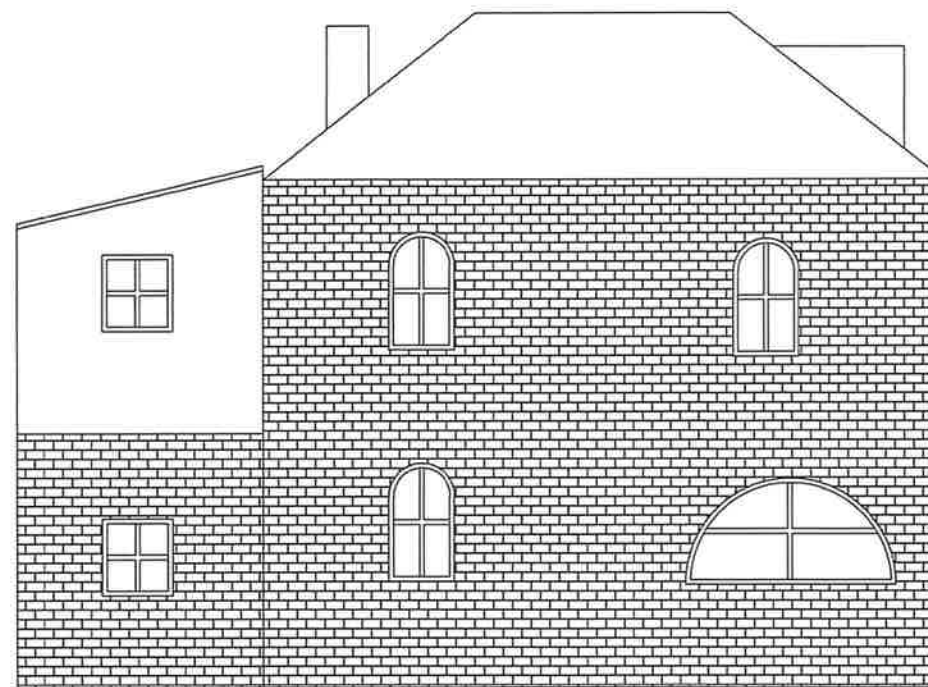
PROJECT:
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NOT FOR CONSTRUCTION

DRAWING SCALE:	AS NOTED
PROJECT #:	AD24002
DATE:	3/11/2024
DRAWN BY:	MJK
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APPROVED BY:	WJM
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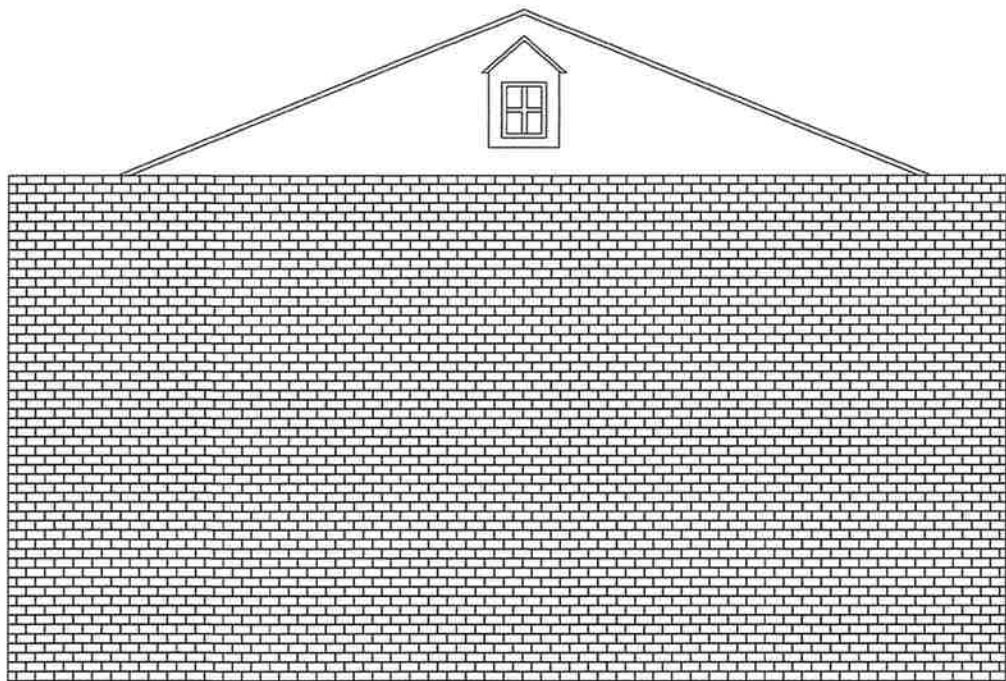
A1



1 EXISTING FRONT ELEVATION
SCALE: 1/4"=1'-0"



3 EXISTING SIDE ELEVATION
SCALE: 1/4"=1'-0"



2 EXISTING REAR ELEVATION
SCALE: 1/4"=1'-0"

CONTRACTOR/BUILDER:

**ANDREW
PHILLIPS-SHAW**

240 GWYNEDD AVE
NORTH WALES PA 19454

EXISTING ELEVATIONS

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DATE: 3/11/2024

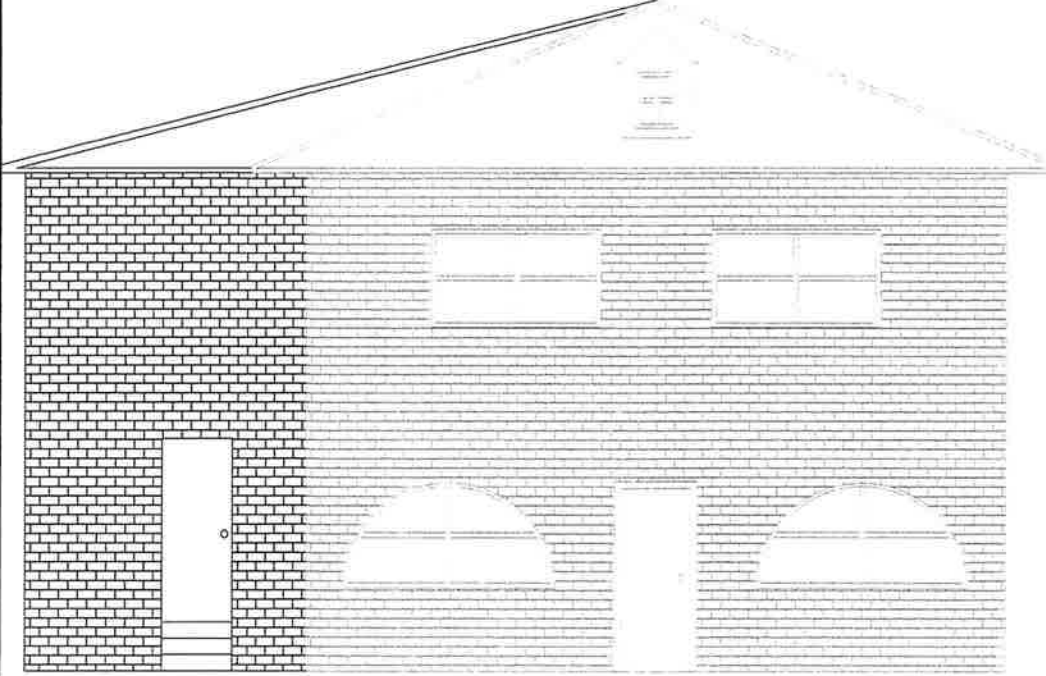
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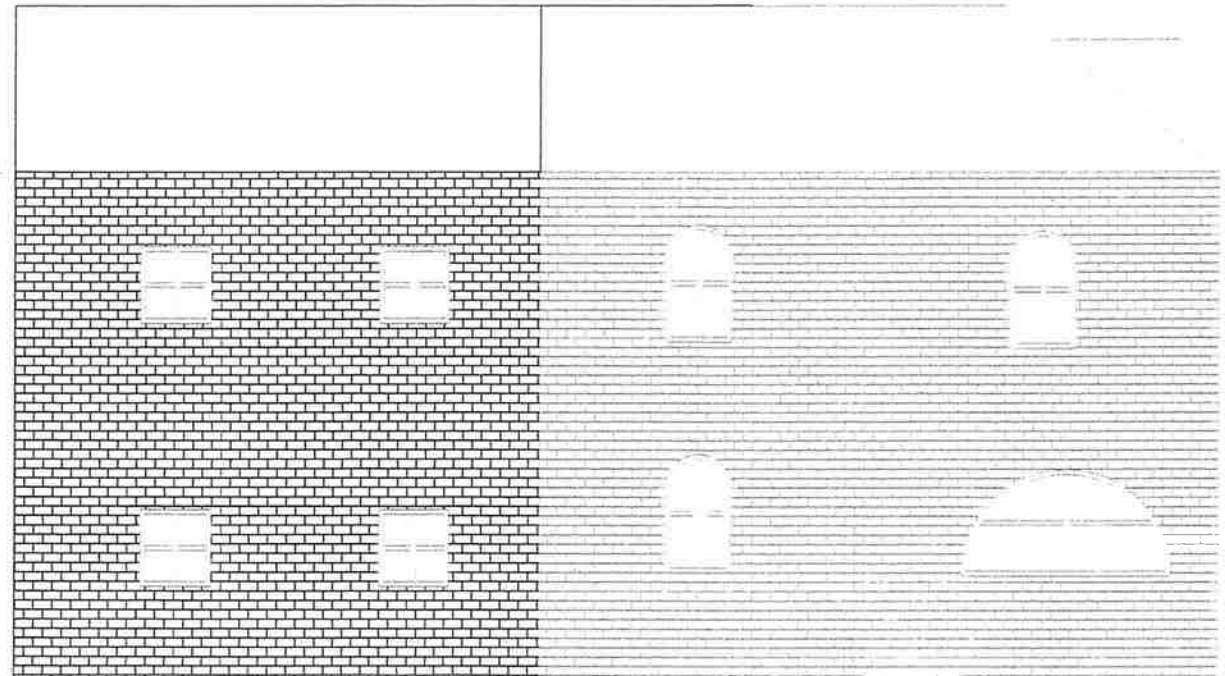
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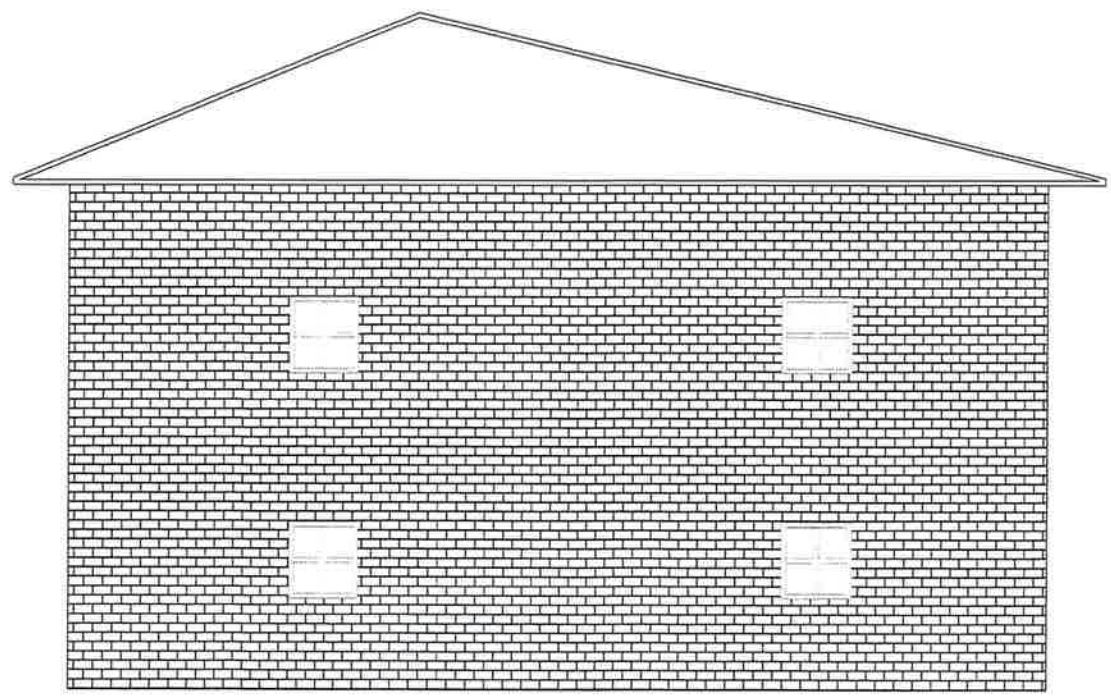
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1 FRONT ELEVATION
SCALE: 1/4"=1'-0"



3 SIDE ELEVATION
SCALE: 1/4"=1'-0"



2 REAR ELEVATION
SCALE: 1/4"=1'-0"



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CONTRACTOR/BUILDER:

**ANDREW
PHILLIPS-SHAW**
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PROPOSED ELEVATIONS

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ZONING HEARING BOARD
 UPPER GWYNEDD TOWNSHIP
 MONTGOMERY COUNTY, PENNSYLVANIA
 Zoning Ordinance of November 23, 1987 as Amended

Check One Date: 25 MAR 2024

APPLICATION FOR VARIANCE(S) _____
 APPLICATION FOR SPECIAL EXCEPTION(S) X
 APPEAL FROM ZONING OFFICER'S
 DECISION/DETERMINATION(S) _____

PROPERTY ADDRESS/
 LOCATION 203 Church Road LOT SIZE 13.74 ZONING DISTRICT LI-Limited Industrial
 Montgomery County Parcel 56-00-01318-00-3

Check One (Applicant)
 _____ Owner
X Equitable Owner (under Agreement of Sale)
 _____ Lessor
 _____ Lessee

Applicant's Name: Summit/ELU Church Road LLC
 Address: c/o Joseph C. Kuhls, Esquire
 Telephone: _____

Check One

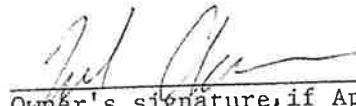
Date Ownership Secured _____
 Date of Agreement of Sale 21 FEB 2023
 Date of Lease _____

Contractor's or
 Agent's Name Joseph C. Kuhls, Esquire
352 N Easton Road, Glenside, PA 19038
 Address _____


Public Water Yes X No _____
 Public Sewer Yes X No _____

Give full information as to Section of Zoning Ordinance involved and reasons why the Variance(s), Special Exception(s) or Appeal is desired and why it should be granted.

SEE ATTACHED ADDENDUM



 Owner's signature, if Applicant
 is not Owner, agreeing to this
 Application
 Alpha Strata, LLC

Applicant's Signature 
 Please Print Name: Summit/ELU Church Road LLC
 By: Robert Rosenthal, Managing Member
 Attorney's Name: _____
 Address: Same as "Agent" above
 Telephone: _____

Record of Secretary - Zoning Hearing Board

Application No. _____	Hearing Date(s) _____	Decision Date _____
VARIANCE(S)	Granted _____	Denied _____
SPECIAL EXCEPTION(S)	Granted _____	Denied _____
APPEAL	Granted _____	Denied _____

RESTRICTIONS/CONDITIONS (if any)

- () Zoning Officer
- () Zoning Hearing Board
- () Board of Commissioners
- () Zoning Solicitor

Signature of Secretary _____

ADDENDUM TO ZONING HEARING BOARD APPLICATION

The Applicant proposes use of the Subject Property as a Transportation Facility.

Upper Gwynedd Township Zoning Ordinance ("Ordinance") §195-25.B(12)(b) permits a Transportation Facility by Special Exception, as:

1. a use of the same general character as "warehousing and distributing" which is expressly permitted, by-right, pursuant to Ordinance §195-25.B(6); and
2. a use of the same general character as "repair and maintenance of vehicles", which is expressly permitted, by right, pursuant to Ordinance §195-25.B(11)(e).

RECEIVED
 MAR 25 2024
 BY: ZHB 24-08

ZONING HEARING BOARD
 UPPER GWYNEDD TOWNSHIP
 MONTGOMERY COUNTY, PENNSYLVANIA
 Zoning Ordinance of November 23, 1987 as Amended

Check One Date: 3/25/24
 APPLICATION FOR VARIANCE(S) X
 APPLICATION FOR SPECIAL EXCEPTION(S) _____
 APPEAL FROM ZONING OFFICER'S _____
 DECISION/DETERMINATION(S) _____

PROPERTY ADDRESS/ LOCATION 1180 Welsh Road LOT SIZE 3.984 acres ZONING DISTRICT OC (Office Center)

Check One (Applicant)
 _____ Owner
X Equitable Owner (under Agreement of Sale)
 _____ Lessor
 _____ Lessee

Applicant's Name: Philip Jaisohn Memorial Foundation
Attn: George Choe, President & CEO Check One
 Date Ownership Secured _____
 Date of Agreement of Sale 2/28/2024
 Address: 6705 Old York Road, Philadelphia, PA 19126 Date of Lease _____
 Telephone: _____

Contractor's or Agent's Name _____
 Address _____
 Public Water Yes X No _____
 Public Sewer Yes X No _____

Give full information as to Section of Zoning Ordinance involved and reasons why the Variance(s), Special Exception(s) or Appeal is desired and why it should be granted.

The Philip Jaisohn Memorial Foundation is a charitable foundation dedicated to offering health and human services to the Penn Asian community. It seeks to purchase and use an existing office building on Welsh Road in the Office Center District to offer these services in a "one stop shop" for area residents. See attached 1120 Welsh Road GCC Associates, LLC Philip Jaisohn Memorial Foundation

~~GCC Land Associates, LP~~

 Owner's signature, if Applicant is not Owner, agreeing to this Application

Applicant's Signature X George Choe
 Please Print Name: George Choe
 Attorney's Name: Catherine M. "Kate" Harper, Esquire
 Address: 400 Maryland Drive, Box 7544, Ft. Washington, PA 19034
 Telephone: 215-646-6000
 email: charper@timoneyknox.com

By: Brian McGrath, Manager

Record of Secretary - Zoning Hearing Board

Application No. _____ Hearing Date(s) _____ Decision Date _____
 VARIANCE(S) Granted _____ Denied _____
 SPECIAL EXCEPTION(S) Granted _____ Denied _____
 APPEAL Granted _____ Denied _____

RESTRICTIONS/CONDITIONS (if any)

- () Zoning Officer
- () Zoning Hearing Board
- () Board of Commissioners
- () Zoning Solicitor

Signature of Secretary _____

The Philip Jaisohn Memorial Foundation Inc. Application to the Upper Gwynedd Township
Zoning Hearing Board

In order to combine several health and human service providers into an existing office building at 1180 Welsh Road, the Applicant needs zoning relief for some of the uses. Here are the uses proposed to be located in the building:

- 1) Three existing office tenants: Permitted §195-20.
- 2) Jaisohn Memorial Foundation Inc. offices: Permitted §195-20.
- 3) Jaisohn Memorial Foundation Medical Center with Doctor's office by appointment only: Permitted §195-20.
- 4) Jaisohn Mental Health/Social Service offices: Permitted §195-20.
- 5) Offices for Jaisohn Home Health Care, Home Care, Orthopedics and Rehab by appointment: Permitted §195-20.
- 6) Blood lab and offices for a podiatrist, pain manager, vision, acupuncture, and other offices by appointment: Permitted §195-20.

Those uses that need an Interpretation OR Variances:

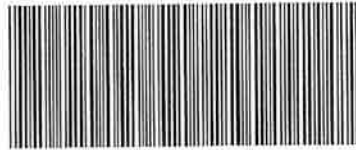
- 7) Jaisohn Senior Community Center and Jaisohn Senior Adult Daycare: Requests a **variance** from §195-20 to allow a gathering place for senior activities and for a daycare center for seniors.
- 8) A kitchen and café for use by occupants in the building: Requests an **interpretation or variance** from §195-20 as an accessory use to permitted office and other uses.
- 9) Pharmacy: Limited to visitors and occupants of the building needs an **interpretation or variance** under §195-20 as an accessory to the permitted Doctors' offices to allow prescriptions to be filled on-site.
- 10) Philip Jaisohn Hall - to be used for medical and other lectures and program needs an **interpretation or a variance** under §195-20.



RECORDER OF DEEDS
MONTGOMERY COUNTY
Jeanne Sorg

One Montgomery Plaza
Swede and Airy Streets ~ Suite 303
P.O. Box 311 ~ Norristown, PA 19404
Office: (610) 278-3289 ~ Fax: (610) 278-3869

DEED BK 6082 PG 02793 to 02799.1
INSTRUMENT # : 2018016777
RECORDED DATE: 03/16/2018 03:35:18 PM



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MONTGOMERY COUNTY ROD

OFFICIAL RECORDING COVER PAGE

Page 1 of 8

Document Type: Deed	Transaction #: 3895808 - 2 Doc(s)
Document Date: 03/14/2018	Document Page Count: 6
Reference Info:	Operator Id: estaglia
RETURN TO: (Simplifile) Fidelity National Title Insurance Company (Blue Bell) 486 Norristown Road Suite 230 Blue Bell, PA 19422 (610) 825-5720	PAID BY: FIDELITY NATIONAL TITLE INSURANCE COMPANY BLUE BELL


* PROPERTY DATA:	
Parcel ID #:	56-00-09309-02-4
Address:	1180 WELSH RD
Municipality:	PA Upper Gwynedd Township (100%)
School District:	North Penn

*** ASSOCIATED DOCUMENT(S):**

CONSIDERATION/SECURED AMT:	\$1.00
TAXABLE AMOUNT:	\$5,063,947.00
FEES / TAXES:	
Recording Fee:Deed	\$86.75
Affidavit Fee	\$1.50
Additional Pages Fee	\$4.00
Additional Names Fee	\$1.50
Affordable Housing Pages	\$4.00
Affordable Housing Names	\$1.50
State RTT	\$50,639.47
Upper Gwynedd Township RTT	\$25,319.73
North Penn School District RTT	\$25,319.74
Total:	\$101,378.19

DEED BK 6082 PG 02793 to 02799.1
Recorded Date: 03/16/2018 03:35:18 PM

I hereby CERTIFY that this document is recorded in the Recorder of Deeds Office in Montgomery County, Pennsylvania.



Jeanne Sorg
Recorder of Deeds

Rev1 2016-01-29

PLEASE DO NOT DETACH

THIS PAGE IS NOW PART OF THIS LEGAL DOCUMENT

NOTE: If document data differs from cover sheet, document data always supersedes.
*COVER PAGE DOES NOT INCLUDE ALL DATA, PLEASE SEE INDEX AND DOCUMENT FOR ANY ADDITIONAL INFORMATION

Prepared By:

Albert A. Ciardi, III, Esquire
Ciardi Ciardi & Astin
2005 Market Street
One Commerce Square – Suite 3500
Philadelphia, PA 19103
215-557-3550

Return To:

Harry Clayton, Esquire
Fox Rothschild LLP
49 Market Street
Morristown, NJ
973-326-7115

Deed

Date: March 14, 2018

Parties: GCC Building Associates, LP, as grantor, and 1120 Welsh Road GCC Associates, LLC, as grantee

Tax Parcel No.: 560009309024

MONTGOMERY COUNTY COMMISSIONERS REGISTRY
56-00-09309-02-4 UPPER GWYNEDD TOWNSHIP
1180 WELSH RD
GCC BUILDING ASSOCIATES LP \$15.00
B 026A L 3 U 145 4500 03/16/2018 MY

This Indenture, made the *14th* day of March, 2018

Between

GCC Building Associates, LP, a Pennsylvania limited partnership

(hereinafter called the Grantor), of the one part, and

1120 Welsh Road GCC Associates, LLC

(hereinafter called the Grantee), of the other part,

Witnesseth, that the said Grantor for and in consideration of the sum of **ONE DOLLAR (\$1.00)** lawful money of the United States of America, unto it well and truly paid by the said Grantee, at or before the sealing and delivery hereof, the receipt whereof is hereby acknowledged, has granted, bargained and sold, released and confirmed, and by these presents does grant, bargain and sell, release and confirm unto the said Grantee, its successors and assigns all those certain lots or parcels of ground more particularly described on Exhibit "A" attached hereto and made a part hereof.

UNDER AND SUBJECT nevertheless to all easements, restrictions, covenants, conditions and encumbrances of record.

Together with all and singular the buildings and improvements, ways, streets, alleys, driveways, passages, waters, water-courses, rights, liberties, privileges, hereditaments and appurtenances, whatsoever unto the hereby granted premises belonging, or in anywise appertaining, and the reversions and remainders, rents, issues, and profits thereof; and all the estate, right, title, interest, property, claim and demand whatsoever of it, the said grantor, as well at law as in equity, of, in and to the same.

To have and to hold the said lot or piece of ground described above, with the buildings and improvements thereon erected, hereditaments and premises hereby granted, or mentioned and intended so to be, with the appurtenances, unto the said Grantee, its successors assigns, to and for the only proper use and behoof of the said Grantee, its successors and assigns, forever, under and subject as aforesaid.

And the said Grantor, for itself, its successors and assigns, does, by these presents, covenant, grant and agree, to and with the said Grantee, its successors and assigns, that it, the said Grantor, its successors and heirs, all and singular the hereditaments and premises herein described and granted, or mentioned and intended so to be, with the appurtenances, unto the said Grantee, its successors and assigns, against her, the said Grantor, its successors and assigns, and against all and every other person and persons whatsoever lawfully claiming or to claim the same or any part thereof, by, from or under him, her, it, or any of them, shall and will, subject as aforesaid,

Warrant and Foreber Defend.

[Remainder of page intentionally left blank]

In Witness Whereof, the party of the first part has hereunto set hand and seal. Dated the day and year first above written.


Sealed and Delibered
IN THE PRESENCE OF US:

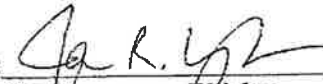
GCC BUILDING ASSOCIATES, LP

By: Spectrum Alliance Services GCC, LLC, a PA LLC
its General Partner

By: Trefoil Properties, L.P., a DE LP
its sole Member and Manager

By: Trefoil Properties GP, LLC, a DE LLC
its General Partner

By:  {SEAL}
Name: Robert T. Wrigley
Title: Manager

By:  {SEAL}
Name: James R. Wrigley
Title: Sole Member

Commonwealth of Pennsylvania } ss
County of Montgomery

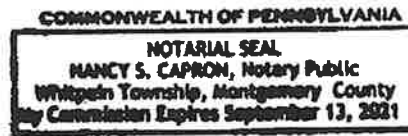
AND NOW, this 14th day of March, 2018, before me, the undersigned Notary Public, appeared Robert T. Wrigley and James R. Wrigley, who acknowledged themselves to be the Manager and Sole Member, respectively, of Trefoil Properties GP, LLC, the General Partner of Trefoil Properties, L.P., who, in turn, is the sole Member and Manager of Spectrum Alliance Services GCC, LLC, the General Partner of GCC Building Associates, LP, and they being authorized to do so, executed the foregoing instrument for the purposes therein contained.

IN WITNESS WHEREOF, I hereunder set my hand and official seal.

Nancy S Capron
Notary Public
My commission expires 9/13/2021

The address of the above-named Grantee is:

One Sound Shore Drive
Suite 200
Greenwich, CT 06830



On behalf of the Grantee

Description and Recital

ALL THAT CERTAIN Unit in the property known, named and identified as Gwynedd corporate Center, a condominium, located in Upper Gwynedd Township, Commonwealth of Pennsylvania, which has heretofore been submitted to the provisions of the Uniform Condominium Act, 68 PA C.S. 3101 et seq by the recording in the Montgomery county recorder of Deeds at Norristown, Montgomery County, Pennsylvania of a Declaration dated March 18, 1997 and recorded on march 26, 1997 in Deed Book 5180 page 1950 and also in Deed Book 5180 page 1997, and first Amendment thereto dated April 20, 2001 and recorded on May 14, 2002 in Deed Book 5407 page 1964; being and designated as Unit No. 3 together with a proportionate undivided interest in the Common Elements (as defined in such Declaration).

BEING known 1180 Welsh Road, Unit No. 3, a Unit in Gwynedd Corporate Center, a Condominium.

Easement Parcel 1

TOGETHER with a Non-Exclusive Easement for ingress and egress as created, limited and defined by Declaration of Condominium and By-laws, recorded in Deed Book 5180 page 1950 and re-recorded in Deed Book 5180 page 1997 and Amendment thereto recorded in Deed Book 5407 page 1964.

Tax ID / Parcel No.: 56-00-09309-02-4

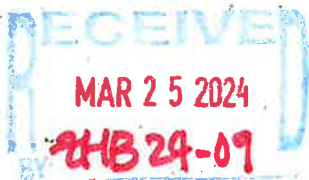
Being the same premises which GCC Land Associates, L.P., a Pennsylvania Limited Partnership by Deed dated 8-15-1997 and recorded 8-27-1997 in Montgomery County in Deed Book 5197 Page 1336 conveyed unto GCC Building Associates L.P., a Pennsylvania limited partnership, in fee. (as to a 100% interest)

Being inter alia the same premises which Waverly Place Realty Trust, a Massachusetts trust by Deed dated 1-1-2005 and recorded 8-26-2005 in Montgomery County in Deed Book 5568 Page 915 conveyed unto GCC Building Associates L.P., a Pennsylvania limited partnership, in fee. (As to a 3.73% interest)

Being inter alia the same premises which Dee Development Company, a Massachusetts general partnership by Deed dated 1-1-2005 and recorded 10-31-2005 in Montgomery County in Deed Book 5577 Page 1854 conveyed unto GCC Building Associates L.P., a Pennsylvania limited partnership, in fee. (As to a 44.91% interest)

Being inter alia the same premises which Jebro GCC, LLC, a Pennsylvania limited liability partnership by Deed dated 1-1-2006 and recorded 7-31-2006 in Montgomery County in Deed Book 5610 Page 776 conveyed unto GCC Building Associates L.P., a Pennsylvania limited partnership, in fee. (as to 6.54% interest)

Being inter alia the same premises which Harry Lammont Belin by Deed dated 1-1-2006 and recorded 7-31-2006 in Montgomery County in Deed Book 5610 Page 780 conveyed unto GCC Building Associates L.P., a Pennsylvania limited partnership, in fee. (as to 15.91% interest)



ZONING HEARING BOARD
UPPER GWYNEDD TOWNSHIP
MONTGOMERY COUNTY, PENNSYLVANIA
Zoning Ordinance of November 23, 1987 as Amended

Check One
APPLICATION FOR VARIANCE(S)
APPLICATION FOR SPECIAL EXCEPTION(S) _____
APPEAL FROM ZONING OFFICER'S
DECISION/DETERMINATION(S) _____

Date: 3-25-24

PROPERTY ADDRESS/
LOCATION 208 Granny Lane LOT SIZE 100x174' ZONING DISTRICT _____

Check One (Applicant)
 Owner
 Equitable Owner (under Agreement of Sale)
 Lessor
 Lessee

Applicant's Name: Next Level Concrete
Address: 2637 Isimyer St, Phila, PA
Telephone:

Check One
Date Ownership Secured _____
Date of Agreement of Sale _____
Date of Lease _____

Contractor's or
Agent's Name Next Level Concrete
Address: 2637 Isimyer St, Phila, PA

Public Water Yes No _____
Public Sewer Yes No _____

Give full information as to Section of Zoning Ordinance involved and reasons why the Variance(s), Special Exception(s) or Appeal is desired and why it should be granted.

Height variance

[Signature]
Owner's signature, if Applicant
is not Owner, agreeing to this
Application

Applicant's Signature [Signature]
Please Print Name: Scott Miller
Attorney's Name: _____
Address: _____
Telephone: _____

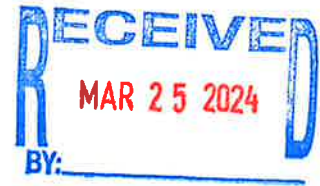
Record of Secretary - Zoning Hearing Board

Application No.	Hearing Date(s)	Decision Date
VARIANCE(S)	Granted _____	Denied _____
SPECIAL EXCEPTION(S)	Granted _____	Denied _____
APPEAL	Granted _____	Denied _____

RESTRICTIONS/CONDITIONS (if any)

- () Zoning Officer
- () Zoning Hearing Board
- () Board of Commissioners
- () Zoning Solicitor

Signature of Secretary _____



GRADING PERMIT APPLICATION
UPPER GWYNEDD TOWNSHIP
CODE CHAPTER 109

Property Location: 208 Grannery lane
Owner Name: Denise Shulte
Type of Improvement: Detached Garage
Total New Impervious Surface: 500 sq ft
Total Disturbance: 500 sq ft

General Contractor: Next Level Concrete

Address: 4637 Isemlye St
Phila PA 19131

Phone/Email: 856-650-7135 / scottmtry@aol.com

Engineer: Long Engineer

Address: Blk Horse Pike
Williamstown, NJ

Phone/Email: _____

ON
PART
OF
JOB

All permit applications must include two (2) plot plans in compliance with Upper Gwynedd Township Code Chapter 109-6A (2).

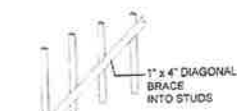
FOR ADMINISTRATIVE USE ONLY

PERMIT APPROVED _____ DATE _____ FEE _____
ZONING OFFICER

APPROVED PLAN TITLED _____

PREPARED BY _____ DATE _____ LAST REVISED _____

TOWNSHIP ENGINEER APPROVAL LETTER DATED _____



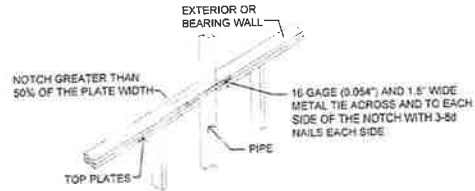
CORNER AND PARTITION POSTS



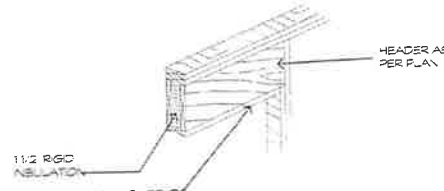
APPLY APPROVED SHEATHING OR BRACE EXTERIOR WALLS WITH 1" x 4" BRACES LET INTO STUDS AND PLATES AND EXTENDING FROM BOTTOM PLATE TO TOP PLATE, OR OTHER APPROVED METAL STRAP DEVICES INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S SPECIFICATIONS.

NOTE: A THIRD STUD AND/OR PARTITION INTERSECTION BACKING STUDS MAY BE OMITTED THROUGH THE USE OF WOOD BACKING, GLUE, METAL STRAP WALL CLIPS OR OTHER APPROVED DEVICES THAT WILL SERVE AS AN ADEQUATE BACKING FOR THE FINISH MATERIAL.

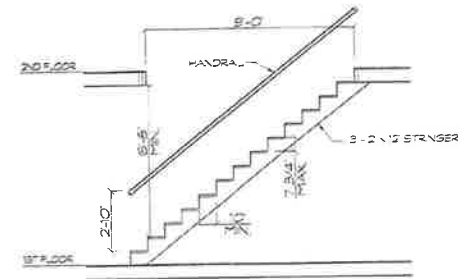
TYPICAL FRAMING DETAILS
N.T.S.



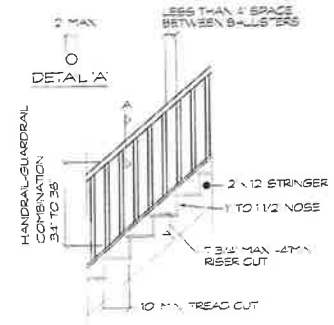
TOP PLATE FRAMING TO ACCOMMODATE PIPING DETAIL
N.T.S.



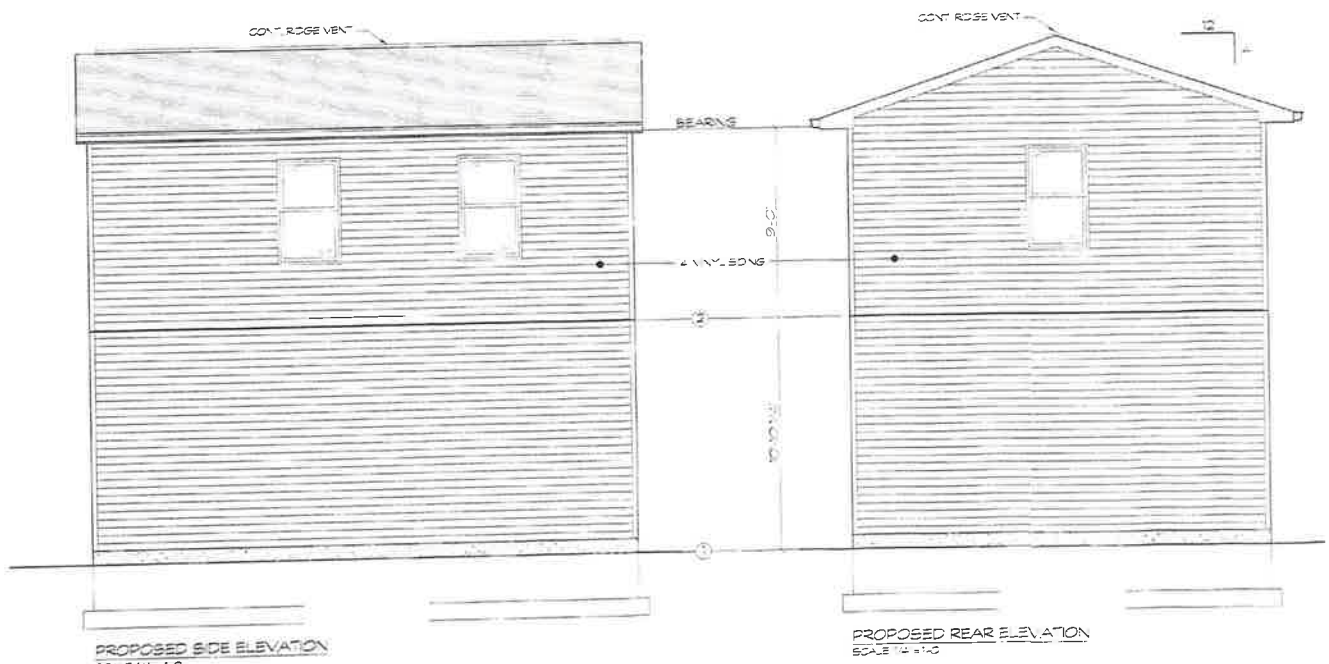
TYPICAL HEADER DETAIL
N.T.S.



TYPICAL STAIR OPG
SCALE 1/8"

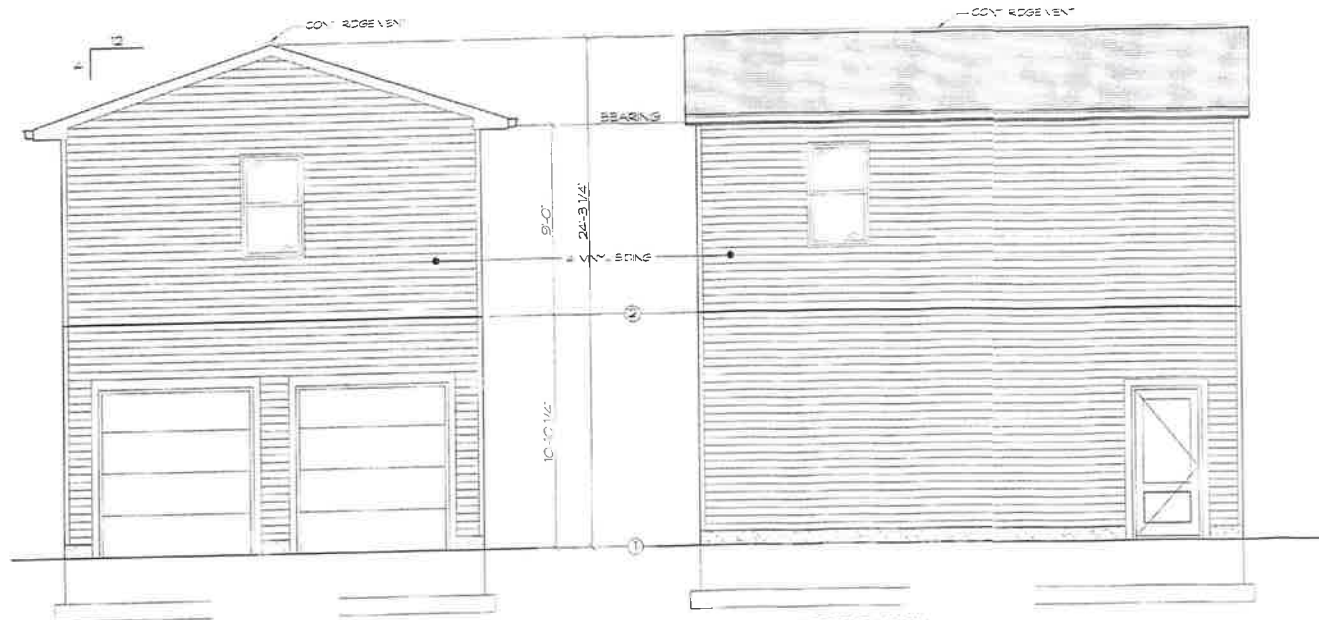


TYPICAL STAIR
SCALE N.T.S.



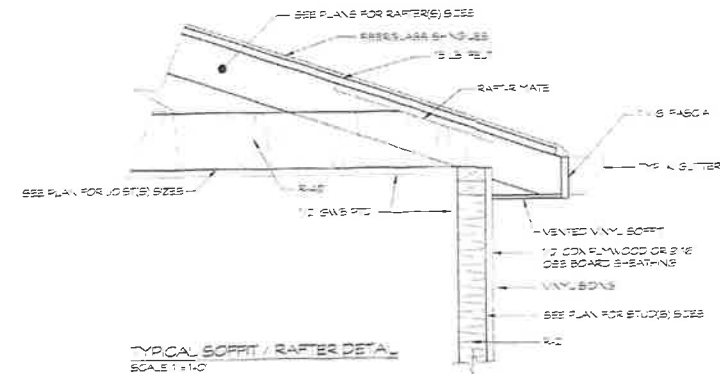
PROPOSED SIDE ELEVATION
SCALE 1/4" = 1'-0"

PROPOSED REAR ELEVATION
SCALE 1/4" = 1'-0"

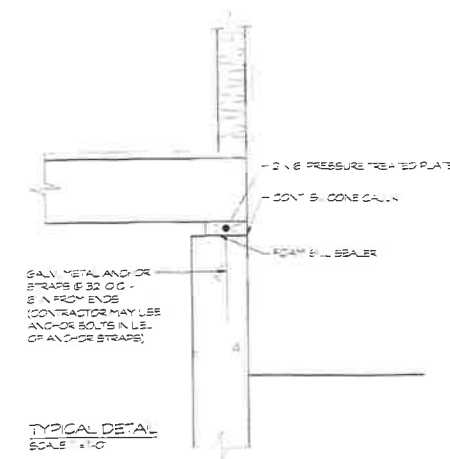


PROPOSED FRONT ELEVATION
SCALE 1/4" = 1'-0"

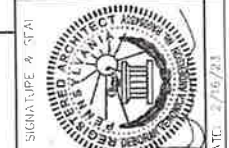
PROPOSED SIDE ELEVATION
SCALE 1/4" = 1'-0"



TYPICAL SOFFIT / RAFTER DETAIL
SCALE 1/4" = 1'-0"



TYPICAL DETAIL
SCALE 1/4" = 1'-0"



DRN. BY: C.W.P.
CHKD. BY: M.M.
SCALE: AS NOTED

HAMMEL ARCHITECTURAL GROUP
PROF. PLANNER LIC. NO. 03955
PA. ARCHITECTS, INC. NO. 05450-Y

TELEPHONE: (610) 257-3555
FAX: (610) 257-3577

DRAWING TITLE:
ELEVATIONS & DETAILS

DATE: _____
REVISION: _____

PROJECT TITLE:
208 GRANNERY LANE
208 GRANNERY LANE
NORTH WALES, PA 19454

JOB NO. 23-0172

102

SHEET NO. 2 OF 3



