

- SYMBOLS**
- RECEPTACLE 110V
 - RECEPTACLE 110V W/ GROUND FAULT CIRCUIT INTERRUPTER
 - RECEPTACLE 110V W/ USB CHARGING PORT
 - RECEPTACLE 220V
 - QUAD RECEPTACLE 110V
 - JUNCTION BOX
 - SWITCH
 - 3-WAY SWITCH
 - 4-WAY SWITCH
 - OCCUPANCY SENSOR SWITCH
 - ELECTRIC PANEL
 - ELECTRIC METER
 - TELEPHONE
 - DATA
 - CABLE TELEVISION
 - THERMOSTAT
 - SMOKE DETECTOR
 - CARBON MONOXIDE DETECTOR
 - CARBON DIOXIDE DETECTOR
 - HEAT DETECTOR
 - EXIT SIGN - CEILING MOUNTED
 - EXIT SIGN W/ EMERGENCY LIGHT
 - EXIT SIGN - LOW MOUNTED
 - FIRE EXTINGUISHER
 - PULL STATION
 - HORN & STROBE
 - STROBE
 - BELL
 - SPEAKER
 - SPRINKLER HEAD
 - EMERGENCY LIGHT W/ BATTERY BACK-UP
 - REMOTE HEAD
 - TWO-HEAD REMOTE FIXTURE
 - RECESSED CEILING FIXTURE
 - RECESSED CEILING FIXTURE W/ EMERGENCY BALLAST
 - CEILING MOUNTED FIXTURE
 - WALL MOUNTED FIXTURE
 - WALL MOUNTED FIXTURE W/ EMERGENCY BALLAST
 - 2x2 FLUORESCENT
 - 2x2 FLUORESCENT W/ EMERGENCY BALLAST
 - 2x4 FLUORESCENT
 - 2x4 FLUORESCENT W/ EMERGENCY BALLAST
 - 1x FLUORESCENT (SEE REFLECTED CEILING PLAN FOR LENGTH)
 - TRACK LIGHT
 - FLOOR DRAIN
 - TRENCH DRAIN
 - FLOOR SINK
 - EXHAUST FAN
 - SUPPLY DIFFUSER
 - RETURN GRILLE
 - CEILING FAN
 - (1) HR PARTITION
 - (2) HR PARTITION

- EXISTING CONDITIONS NOTES:**
1. CONTRACTOR SHALL VERIFY FOR ARCHITECT'S REVIEW THE DEPTH & SIZE OF EXISTING FOUNDATIONS, BEARING WALLS, BEAMS, HEADERS OR OTHER STRUCTURAL MEMBERS PRIOR TO ALTERATION AND/OR MODIFICATION.
- FOUNDATION NOTES:**
1. FILL CMU CORES SOLID AT REINFORCING.
 2. ALL ANCHORS MUST BE IN SAME BLOCK AS VERT. REIN. BARS & NOT IN SAME CORE.
 3. WOOD FRAMING SHALL NOT BE IN DIRECT CONTACT W/ SLAB ON-GRADE CONCRETE OR MASONRY SUBJECT TO MOISTURE. WOOD FRAMING IN CONTACT W/ CONCRETE OR MASONRY MUST BE PRESURE TREATED.
 4. ALL METAL HANGERS, PLATES, FASTENERS ETC. IN CONTACT W/ MASONRY, CONC. OR PRESURE TREATED LUMBER MUST BE MIN. HOT DIP GALVANIZED.
 5. CONCRETE FOOTING MUST BE 3,500 PSI MIN. CONCRETE SLABS SHALL BE 3,000 PSI MIN. ALSO REFER TO GENERAL NOTES.
- GENERAL NOTES:**
1. ALL FRAMING TO BE MINIMUM 5/8" #2 OR BETTER UNLESS NOTED OTHERWISE.
 2. FINISH MATERIALS, COLORS & FIXTURES SHALL BE SELECTED BY OWNER. CONTRACTOR SHALL VERIFY ALL SELECTIONS W/ OWNER PRIOR TO INSTALLATION.
 3. MASONRY CHIMNEY MUST COMPLY W/ ALL APPLICABLE SECTIONS OF CHAPTER 10 OF THE INTERNATIONAL RESIDENTIAL CODE.
 4. ADDITIONAL ELECTRICAL & HVAC DESIGN, CALCULATIONS & DOCUMENTS REQUIRED BY THE MUNICIPALITY FOR PERMITS SHALL BE SUPPLIED BY THE SELECTED, LICENSED & REGISTERED CONTRACTOR AND/OR SUBCONTRACTOR.
 5. ALL NEW WINDOWS, DOORS, CASING, TRIM, SILLS, BASEBOARD ETC. SHALL MATCH EXISTING UNLESS OTHERWISE SPECIFIED.
 6. ALL WINDOWS, DOORS, FIXTURES & MATERIALS MUST BE INSTALLED PER THE MANUFACTURER'S INSTRUCTIONS.
 7. ALL NEW WINDOWS MUST BE MIN. DOUBLE PANE, LOW-E, INSULATED, U-FACTOR 0.32 MIN. SIZES PROVIDED IN FEET & INCHES UNLESS NOTED OTHERWISE (EX. 30.0" W X 5'-0" H) OPERABLE WINDOWS W/ A 5'... HEIGHT LOWER THAN 24" A.F.F. & GREATER THAN 72" ABOVE EXTERIOR GRADE OR SURFACE BELOW SHALL HAVE WINDOW OPENING CONTROL DEVICE HARDWARE IN ACCORDANCE W/ IRC SECTION 312. AFTER OPERATING TO RELEASE THE CONTROL DEVICE, SUCH HARDWARE SHALL PERMIT OPENING OF EGRESS WINDOWS USED FOR EMERGENCY ESCAPE & RESCUE OPENINGS & SHALL NOT REDUCE THE NET OPENING AS REQUIRED BY IRC SECTION 310.
 9. ALL MANUFACTURER'S & CONTRACTOR'S GUARANTEES AND/OR WARRANTIES MUST BE SUPPLIED TO THE OWNER AT TIME OF SUBSTANTIAL COMPLETION.

- MECHANICAL NOTES:**
1. NEW AND/OR REPLACEMENT, MODIFICATION, ETC. OF EXISTING MECHANICAL SYSTEM SHALL BE DESIGNED & INSTALLED BY QUALIFIED LICENSED CONTRACTOR & SUBMITTED TO THE AUTHORITY HAVING JURISDICTION FOR REVIEW AS REQUIRED PRIOR TO INSTALLATION.

- PLUMBING NOTES:**
1. ALL PLUMBING SYSTEMS, EQUIPMENT, FIXTURES, DEVICES, MATERIALS, ETC. MUST BE IN ACCORDANCE W/ ALL CURRENT & APPLICABLE BUILDING & PLUMBING CODES, & SHALL BE DESIGNED BY QUALIFIED LICENSED PROFESSIONAL. DESIGN DOCUMENTS MUST BE SUBMITTED TO THE AUTHORITY HAVING JURISDICTION FOR REVIEW AS REQUIRED PRIOR TO INSTALLATION.

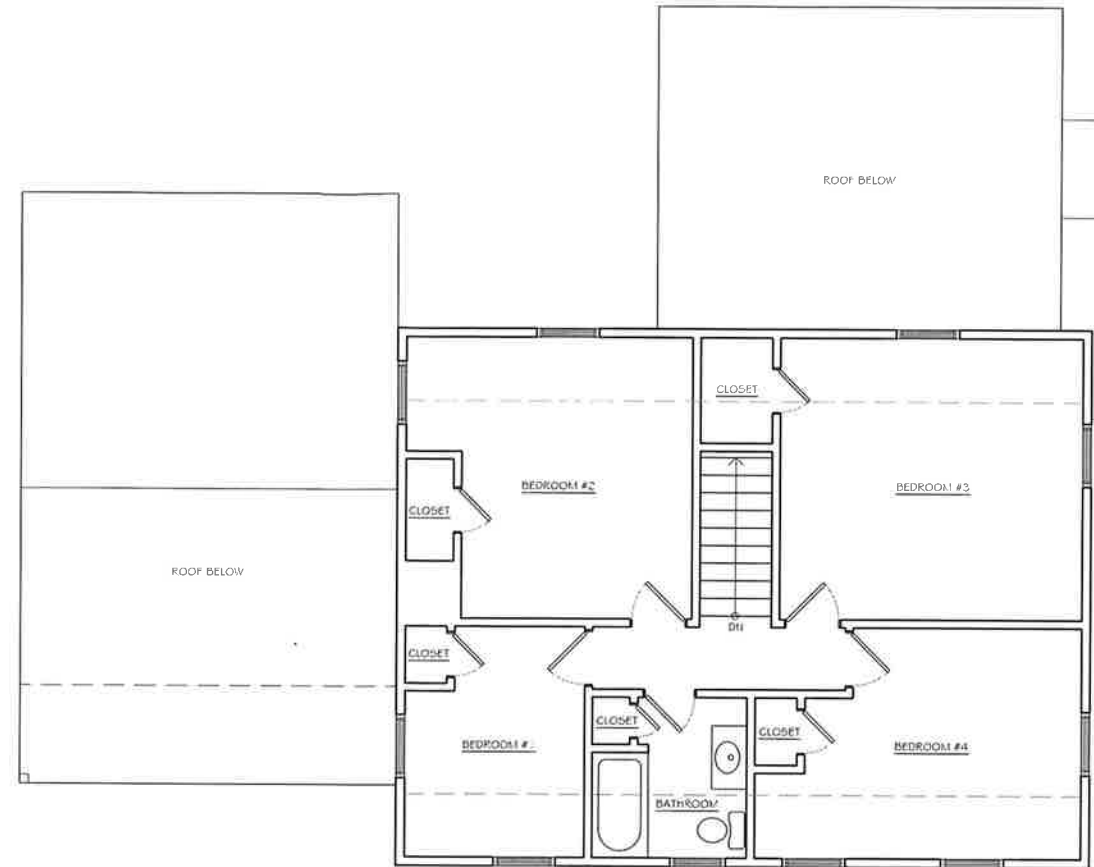
- ELECTRICAL NOTES:**
1. ALL RECEPTACLES IN KITCHENS, BATHS, BASEMENTS, AND EXTERIOR MUST BE ON GFCI PROTECTION.
 2. ALL BEDROOMS, LIVING AREAS, AND SMOKE DETECTORS MUST BE ON ARC FAULT BREAKERS.
 3. ALL WORK MUST BE IN COMPLIANCE W/ LATEST NATIONAL ELECTRIC CODE.
 4. ALL WORK MUST BE IN COMPLIANCE W/ LATEST ELECTRIC COMPANY REQUIREMENTS.
 5. MOUNT RECEPTACLES AT 18" UNLESS NOTED OTHERWISE.
 6. MOUNT SWITCHES AT 48" UNLESS NOTED OTHERWISE.
 7. CONFIRM AND PROVIDE ELECTRICAL SERVICES FOR ALL EQUIPMENT.
 8. PROVIDE & INSTALL HARD WIRED SMOKE/CO DETECTORS IN EACH BEDROOM & ONE EACH FLOOR INTERCONNECTED AS REQUIRED BY CODE.
 9. ALL WIRE MUST BE COPPER UNLESS OTHERWISE NOTED.
 10. SE CABLE MAY BE USED FOR INTERIOR LOCATIONS BUT SHALL NOT BE EXPOSED.
 11. PROVIDE TWO POLE DISCONNECT WITH MINIMUM AMPERE RATING EQUAL TO CIRCUIT BREAKER SIZE.
 12. OUTDOOR EQUIPMENT SHALL HAVE WEMA 3R ENCLOSURE.
 13. NO MORE THAN EIGHT DUPLEX RECEPTACLES SHALL BE CONNECTED TO ANY CIRCUIT.
 14. ALL RECESSED LIGHT FIXTURES IN CONTACT WITH INSULATION MUST BE IC RATED.

- GENERAL DEMOLITION NOTES:**
1. CONTRACTOR SHALL VERIFY LOCATIONS OF ALL UNDERGROUND & OVERHEAD UTILITIES TO SAFEGUARD AGAINST INTERRUPTION OF SERVICES TO THE BUILDING AND/OR OTHER TENANTS.
 2. THE EXISTING EMERGENCY LIGHTING, FIRE DETECTION / ALARM & AUTOMATIC SPRINKLER SYSTEM SHALL BE MAINTAINED IN PROPER WORKING ORDER DURING ALL DEMOLITION & CONSTRUCTION IN ACCORDANCE W/ ALL APPLICABLE CODES.
 3. REMOVE ONLY NON-LOAD BEARING PARTITIONS & CONSTRUCTION. CONTRACTOR SHALL VERIFY PRIOR TO REMOVAL THAT NO STRUCTURAL ELEMENTS, WALLS, BEAMS, HEADERS, ETC. ARE DESIGNATED FOR DEMOLITION.
 4. CONTRACTOR SHALL CONTACT THE ARCHITECT PRIOR TO REMOVAL OF ANY CONSTRUCTION IN QUESTION OR DEVIATION FROM THE PLANS.
 5. CONTRACTOR SHALL FIELD VERIFY EXISTING CONDITIONS & NOTIFY THE ARCHITECT OF ANY DISCREPANCIES TO THE PLANS.
 6. REMOVE ALL ABANDONED WIRING, PIPING, DUCTS & OTHER MECHANICAL, ELECTRICAL & PLUMBING ELEMENTS BACK TO SOURCE TO EXTENT POSSIBLE & CAPPED / TERMINATE IN ACCORDANCE TO THE CODE.
 7. OWNER HAS FIRST RIGHT OF REFUSAL OF ALL SALVAGEABLE ITEMS.
 8. DEMOLITION CONTRACTOR SHALL NOT USE ANY METHODS THAT WILL DAMAGE CONSTRUCTION TO REMAIN IN PLACE.
 9. SAW-CUT ALL CONCRETE SLAB FLOORS TO BE REMOVED. CONTRACTOR SHALL COORDINATE W/ PLUMBING PLANS FOR ALL NEW UNDERGROUND PLUMBING PIPING.
 10. ALL DEMOLISHED MATERIALS SHALL BE PROPERLY REMOVED FROM SITE.
 11. HAZARDOUS MATERIALS INCLUDING LEAD PAINT & ASBESTOS SHALL BE REMOVED BY LICENSED / CERTIFIED CONTRACTOR(S).

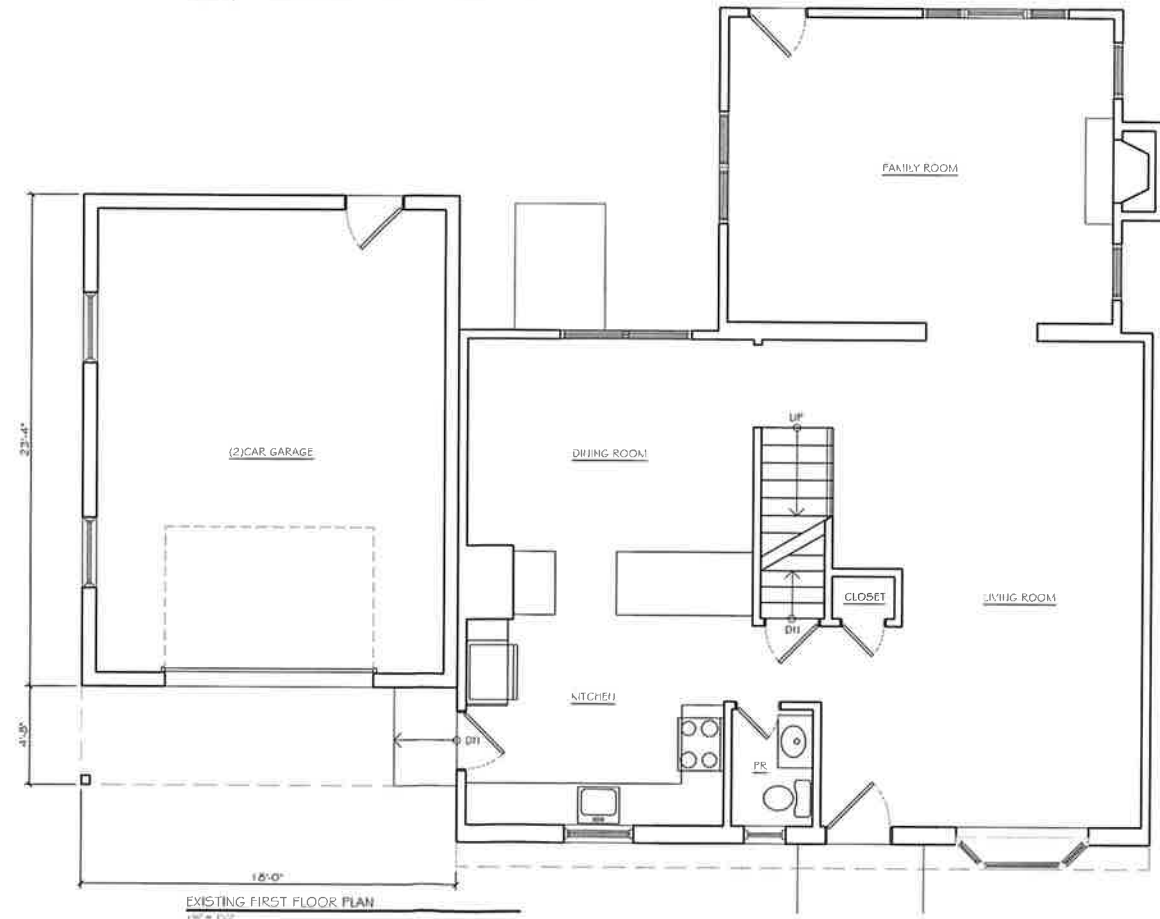
CONSTRUCTION CODES:
INTERNATIONAL RESIDENTIAL CODE 2015

DESIGN LOADS:

DEAD (FLOOR)	20 PSF
LIVE (FLOOR)	40 PSF @ LIVING AREAS, 30 PSF @ SLEEPING AREAS
DEAD (ROOF)	15 PSF
SNOW (ROOF)	30 PSF
WIND:	115 MPH (3 SECOND GUST)



EXISTING SECOND FLOOR PLAN
1/26" = 1'0"



EXISTING FIRST FLOOR PLAN
1/16" = 1'0"



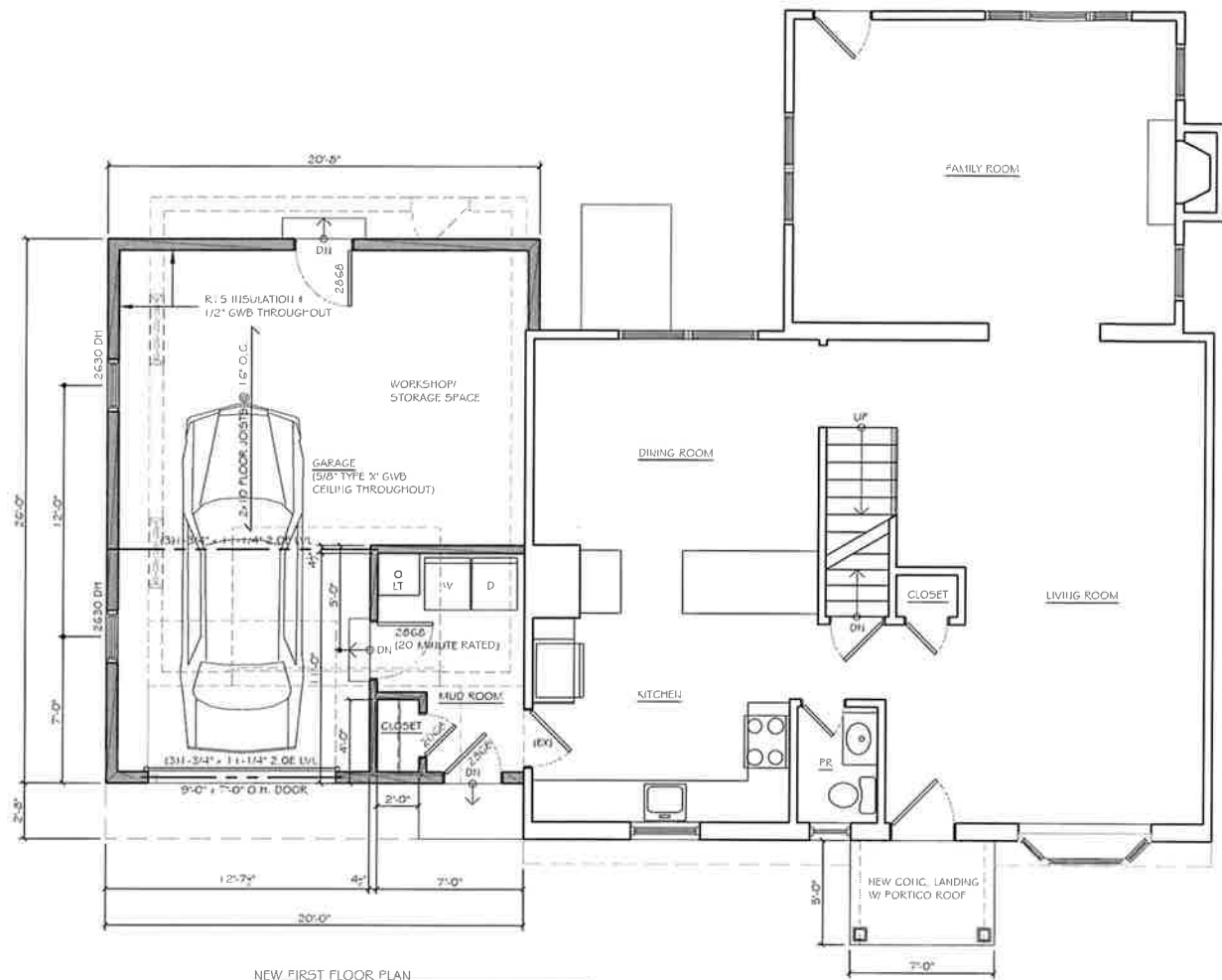
EXISTING CONDITIONS PHOTOGRAPHS

ZONING HEARING BOARD REVIEW: 05/19/2021

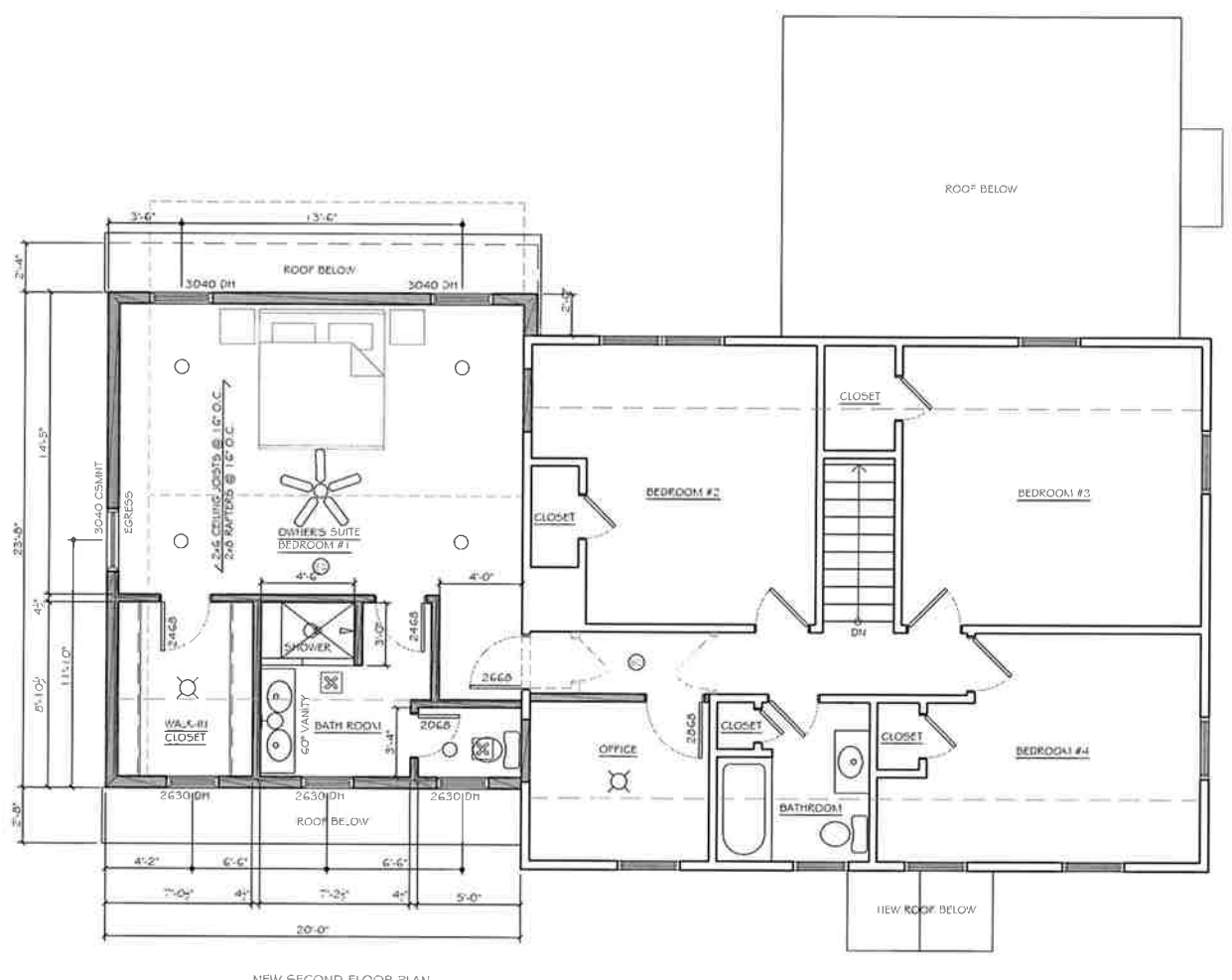
DURKIN RESIDENCE GARAGE/OWNER SUITE ADDITION	208 CROFT ROAD NORTH WALES, PA 19454 UPPER GWYNEDD TOWNSHIP
PROJECT NO. 37921	
Michael J. Panachyda Architect	527 W. Mt. Vernon St. Lansdale, PA 19446 P: 267-467-2551 www.mjp-architect.com
SYMBOLS & NOTES, EXISTING FLOOR PLANS	
DATE: 05/19/2021	SHEET: A-100

SYMBOLS

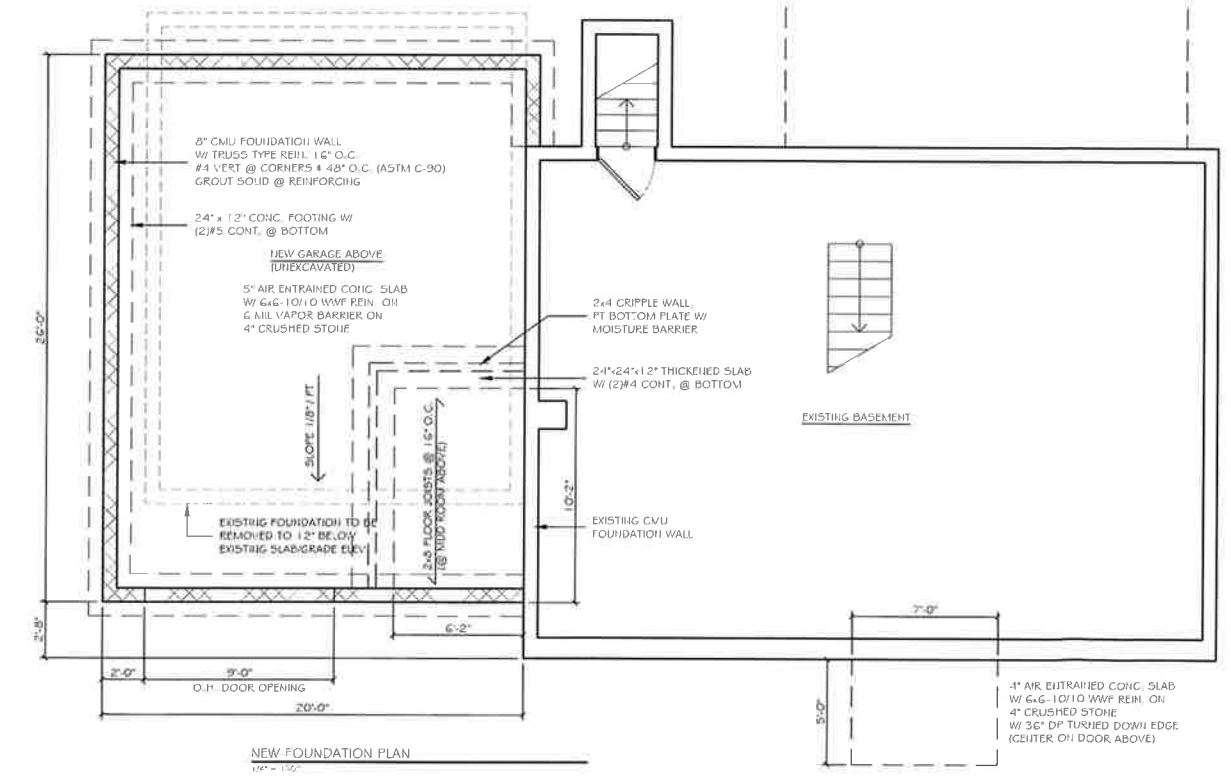
- RECEPTACLE 110V
- RECEPTACLE 110V W/ GROUND FAULT CIRCUIT INTERRUPTER
- RECEPTACLE 110V W/ USB CHARGING PORT
- RECEPTACLE 220V
- QUAD RECEPTACLE 110V
- RECEPTACLE 110V - FLOOR MOUNTED
- JUNCTION BOX
- SWITCH
- 3-WAY SWITCH
- 4-WAY SWITCH
- OCCUPANCY SENSOR SW/CH
- ELECTRIC PANEL
- ELECTRIC METER
- TELEPHONE / DATA
- DATA
- CABLE TELEVISION
- THERMOSTAT
- SMOKE DETECTOR
- CARBON MONOXIDE DETECTOR
- CARBON DIOXIDE DETECTOR
- HEAT DETECTOR
- EXIT SIGN - CEILING MOUNTED
- EXIT SIGN W/ EMERGENCY LIGHT
- EXIT SIGN - LOW MOUNTED
- FIRE EXTINGUISHER
- PULL STATION
- HORN & STROBE
- STROBE
- BELL
- SPEAKER
- SPRINKLER HEAD
- EMERGENCY LIGHT W/ BATTERY BACK-UP
- REMOTE HEAD
- TWO-HEAD REMOTE FIXTURE
- RECESSED CEILING FIXTURE
- RECESSED CEILING FIXTURE W/ EMERGENCY BALLAST
- CEILING MOUNTED FIXTURE
- WALL MOUNTED FIXTURE
- WALL MOUNTED FIXTURE W/ EMERGENCY BALLAST
- 2x2 FLUORESCENT
- 2x2 FLUORESCENT W/ EMERGENCY BALLAST
- 2x4 FLUORESCENT
- 2x4 FLUORESCENT W/ EMERGENCY BALLAST
- 1x FLUORESCENT (SEE REFLECTED CEILING PLAN FOR LENGTH)
- TRACK LIGHT
- FLOOR DRAIN
- TRENCH DRAIN
- FLOOR SINK
- EXHAUST FAN
- SUPPLY DIFFUSER
- RETURN GRILLE
- CEILING FAN
- (1) HR PARTITION
- (2) HR PARTITION



NEW FIRST FLOOR PLAN
101 - 110



NEW SECOND FLOOR PLAN
102 - 110



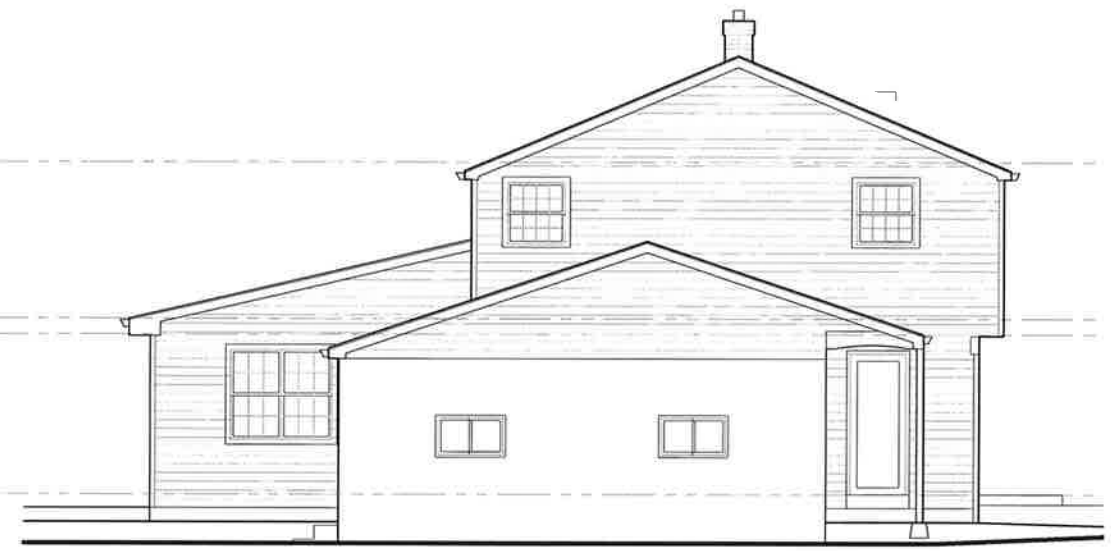
NEW FOUNDATION PLAN
103 - 110

ZONING HEARING BOARD REVIEW: 05/19/2021

DURKIN RESIDENCE GARAGE/OWNER SUITE ADDITION		208 CROFT ROAD NORTH WALES, PA 19454 UPPER GWYNEDD TOWNSHIP
project no.	37921	
Michael J. Panachyda Architect		537 W. Mt. Vernon St. Lansdale, PA 19446 p: 267-467-3551 www.mjp-architect.com
drawing	NEW FLOOR PLANS	
date	05/19/2021	sheet: A-101



EXISTING FRONT ELEVATION
1/2" = 1'-0"



EXISTING LEFT SIDE ELEVATION
1/2" = 1'-0"



EXISTING REAR ELEVATION
1/2" = 1'-0"

ZONING HEARING BOARD REVIEW: 05/19/2021

DURKIN RESIDENCE		208 CROFT ROAD	
GARAGE/OWNER SUITE ADDITION		NORTH WALES, PA 19454	
project no. 37921		UPPER GWYNEDD TOWNSHIP	
Michael J. Panachyda		527 W. Mt. Vernon St.	
Architect		Lansdale, PA 19446	
		p: 267-467-2551	
		www.mjp-architect.com	
drawing:	EXISTING ELEVATIONS		
date:	05/19/2021	sheet:	A-200



NEW FRONT ELEVATION
18'0" x 31'0"




NEW LEFT SIDE ELEVATION
18'0" x 17'0"



NEW REAR ELEVATION
18'0" x 31'0"

ZONING HEARING BOARD REVIEW: 05/19/2021

DURKIN RESIDENCE GARAGE/OWNER SUITE ADDITION		206 CROFT ROAD NORTH WALES, PA 19454 UPPER GWYNEDD TOWNSHIP	
project no. 37921		527 W. Mt. Vernon St. Lansdale, PA 19446 p: 267-467-2551 www.mjp-architect.com	
Michael J. Panachyda Architect			
drawing: NEW ELEVATIONS			
date: 05/19/2021		sheet: A-201	