

ZONING HEARING BOARD
 UPPER GWYNEDD TOWNSHIP
 MONTGOMERY COUNTY, PENNSYLVANIA
 Zoning Ordinance of November 23, 1987 as Amended



APPLICATION FOR VARIANCE(S) Check One
 APPLICATION FOR SPECIAL EXCEPTION(S) _____
 APPEAL FROM ZONING OFFICER'S
 DECISION/DETERMINATION(S) _____

Date: 6/26/20

PROPERTY ADDRESS/
 LOCATION 145 Providence Lane LOT SIZE 7,777 SF ZONING DISTRICT _____

Check One (Applicant)
 Owner
 _____ Equitable Owner (under Agreement of Sale)
 _____ Lessor
 _____ Lessee

Applicant's Name: Charles F. Fluehr + Robin McGill Check One
 Date Ownership Secured 11/2/19
 Date of Agreement of Sale _____
 Date of Lease _____

Address: 145 Providence Lane, Lansdale
 Telephone: 610-246-2706

Contractor's or
 Agent's Name Paul Bauder Construction, Inc. Public Water Yes No _____
 Public Sewer Yes No _____

Address: 1858 Cindy Lane Hatfield, PA 19440

Give full information as to Section of Zoning Ordinance involved and reasons why the Variance(s), Special Exception(s) or Appeal is desired and why it should be granted.

Building of deck encroaches into the 30' setback requirement by 9'.

HOA doesn't allow use of grass areas for tables etc. We would love to have a deck like others in the community for outdoor space for lounging + grilling. As we reach retirement age we will be home more + are working from home most days anyway with COVID.

Owner's signature, if Applicant is not Owner, agreeing to this Application _____
 Applicant's Signature [Signature]
 Please Print Name: Charles F. Fluehr Robin McGill
 Attorney's Name: _____
 Address: _____
 Telephone: _____

Record of Secretary - Zoning Hearing Board

Application No. _____ Hearing Date(s) _____ Decision Date _____

VARIANCE(S)	Granted _____	Denied _____
SPECIAL EXCEPTION(S)	Granted _____	Denied _____
APPEAL	Granted _____	Denied _____

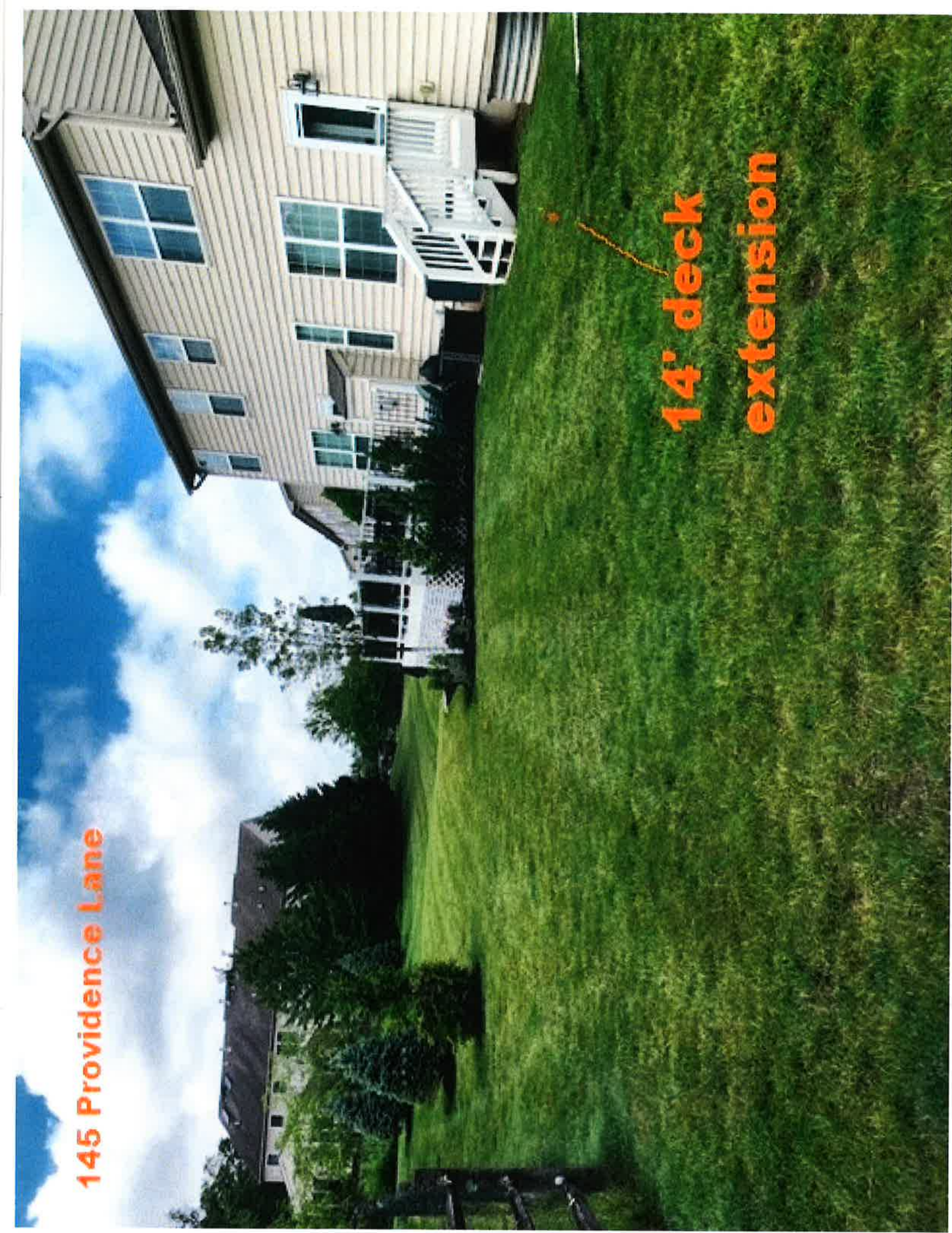
RESTRICTIONS/CONDITIONS (if any)

- () Zoning Officer
- () Zoning Hearing Board
- () Board of Commissioners
- () Zoning Solicitor

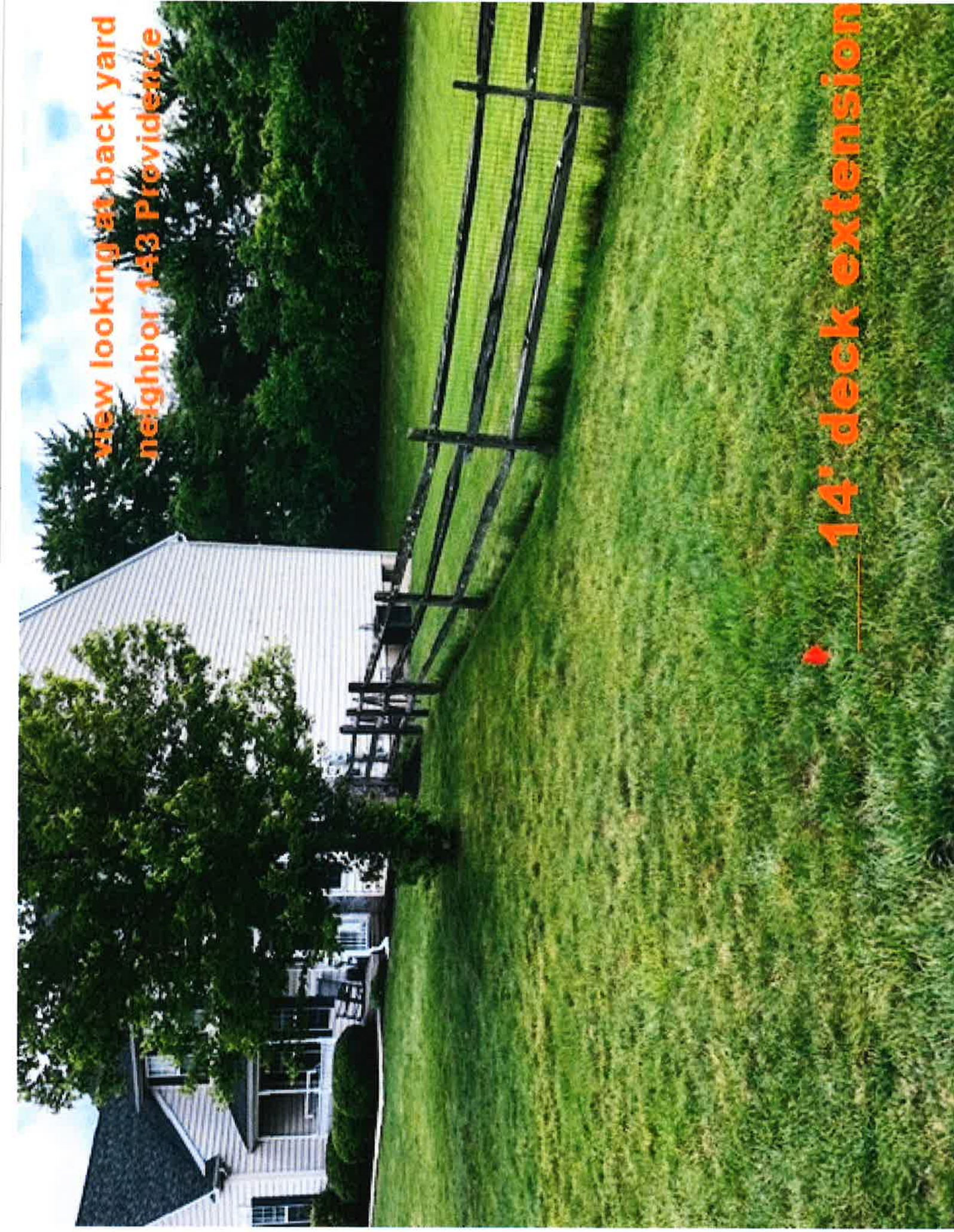
Signature of Secretary _____

145 Providence Lane

**14' deck
extension**



view looking at back yard
neighbor 143 Providence



14' deck extension

PAUL BAUDER CONSTRUCTION, INC.

1858 Cindy Lane
 Hatfield, PA 19440
 215-393-1293
 PA042731
 Paul_Bauder@hotmail.com

Date	Estimate #
06/01/20	1-Revised

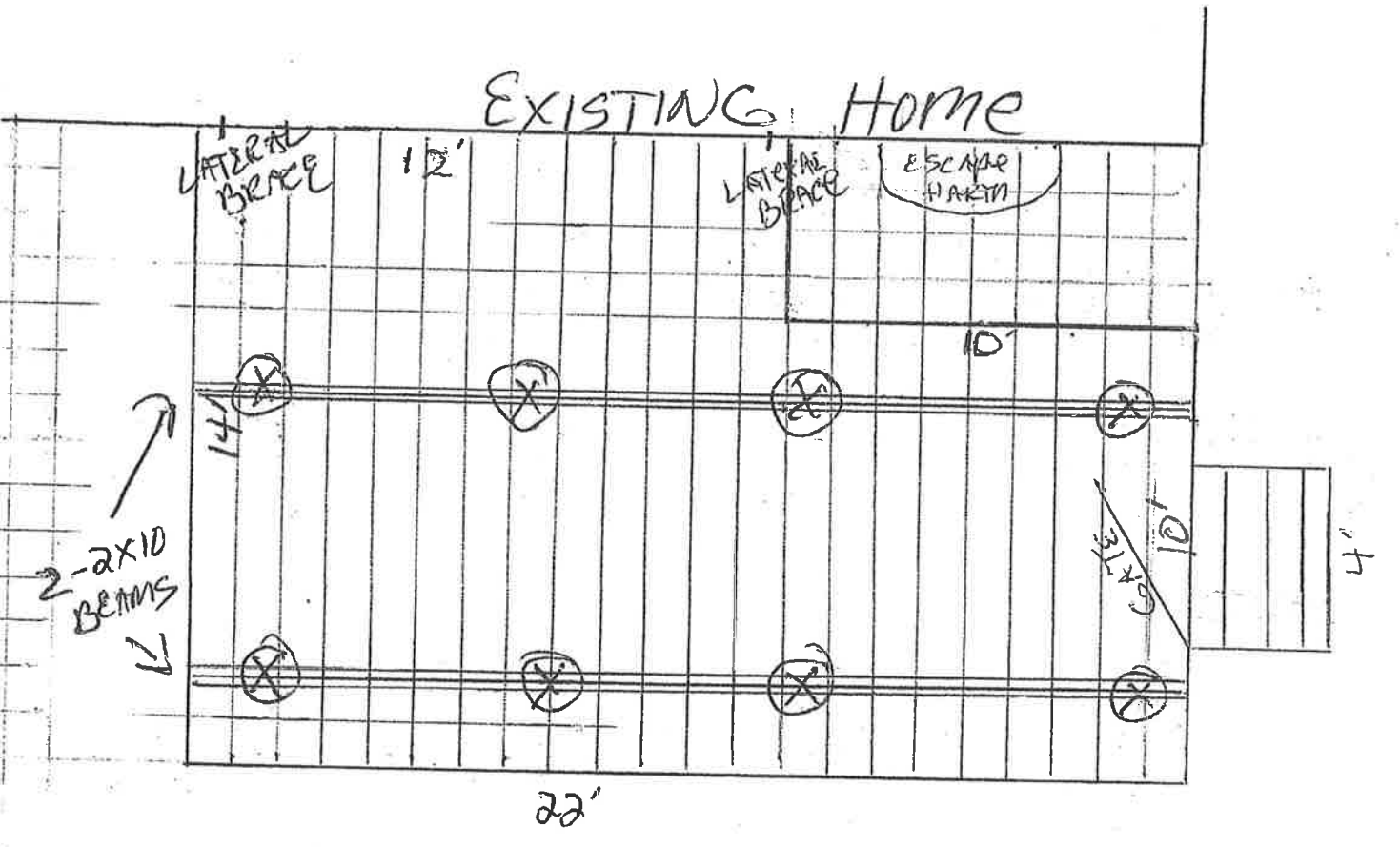
Name/ Address
Chuck and Robin Fluehr 145 Providence Lane Lansdale, Pa. 19446 610-246-2706

Item	Description	Total
14'x 22' Deck Estimate		
1.	Schedule the job, and apply for permits, and go to the Variance meeting.	\$3,500.00
2.	Order materials. Dig and pour footers for the new 14'x 22' Timbertech deck on the back of the home, leaving a cut out for the egress window to the basement.	\$5,641.00
3.	Install the 6 x 6 support posts with two rows of 2x8 pressure-treated headers.	
4.	Install 2 x 8 floor joist for the new deck 16 inches on center. Install additional framing for the two board border around the perimeter of the deck.	\$5,641.00
5.	Install the Timbertech deck boards, and build one set of 4 foot wide steps to grade on the side of the deck. We will be using the pro legacy Tigerwood for the the main deck boards, band board, and risers. The Mocha will be used for the border deck boards, and step.	
6.	Rough-in the electric for 3 riser lights, and 7 accent lights.	
7.	Install the timbertech classic composite series white railing with black aluminum balusters. Note: We included a gate in the job.	
8.	Finish the electric by installing the transformer, timbertech bronze riser lights, and 7 accent lights.	
10.	Install the 2 x 4 pressure treated framework for the lattice under the deck, and the 1"x 1" diagonal white lattice.	
11.	Cleanup, and remove all debris from the premises.	\$5,643.00
		\$20,425.00
NOTES:		
<ul style="list-style-type: none"> - Number one payable upon acceptance of the quote. - Numbers two payable at the start of the job. - Numbers three through four payable when complete. - Numbers five through eleven payable when complete. - We will attend the meeting for the zoning and hearing board, and provide the drawings and paperwork for permit approval. - The cost of the variance will be paid for by the homeowner, and is not included in the quote. 		
Paul Bauder 6/2/20 [Signature] 6/2/20		TOTAL \$20,425.00

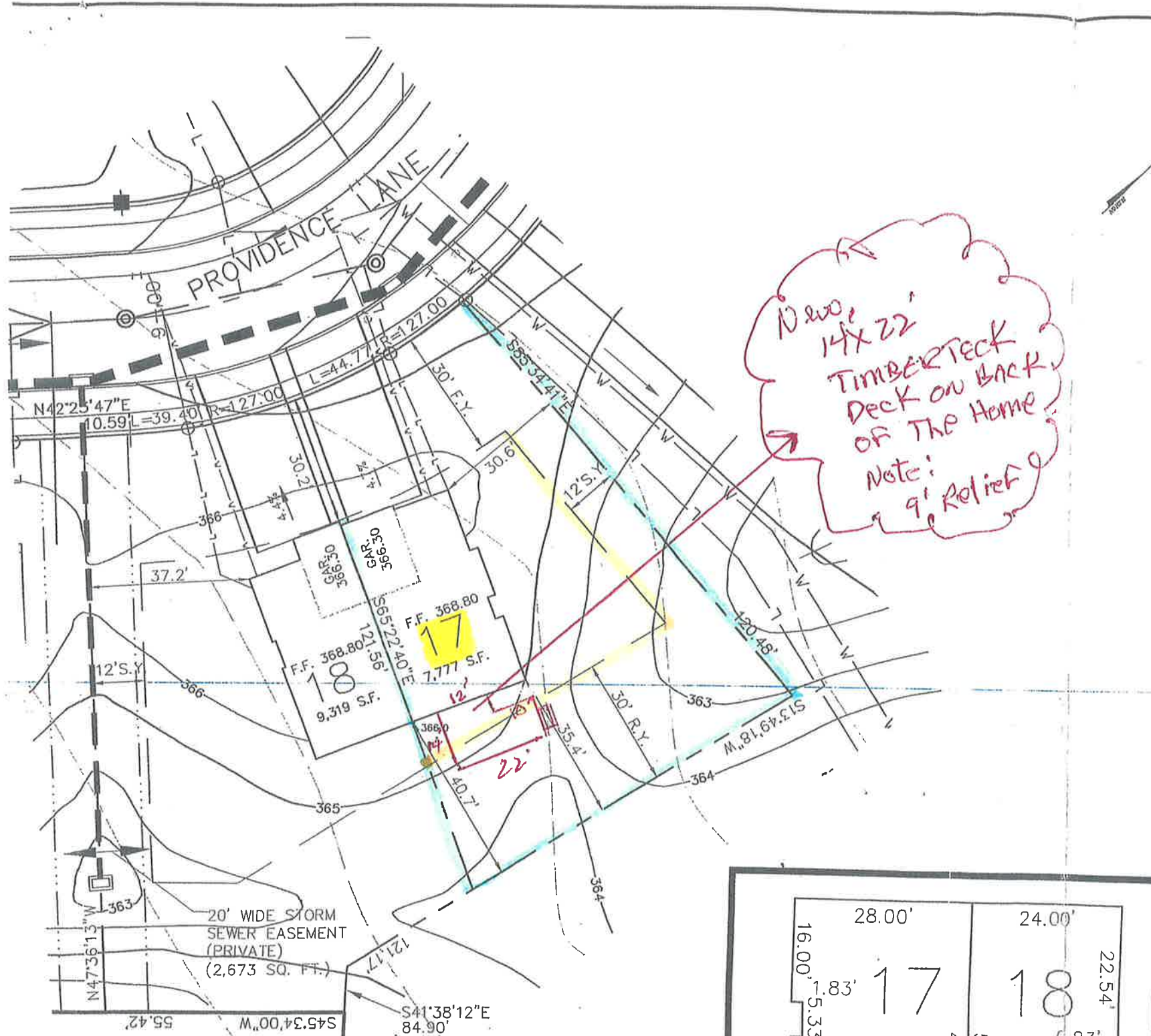
CONTRACTOR:
PAUL BAIDER CONSTRUCTION
1858 CINDY LANE
HATFIELD, PA. 19440
215-460-3985

HOME OWNERS:
CHUCK & ROBIN FLUEHR
145 PROVIDENCE LANE
LANSDALE, PA. 19446
610-246-2706

FLOOR PLAN
14'x22'
TIMBERTECK DECK



- * 2x10 PT FLOOR JOISTS 16" O.C.
- * 5/4" TIMBERTECK DECK BOARDS
- (X) 6x6 PT SUPPORT POSTS

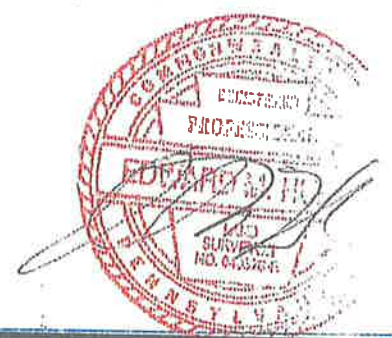


ZONING DATA

OBTAINED FROM THE UPPER GWYNEDD TOWNSHIP ZONING ORDINANCE, AS LAST AMENDED FEBRUARY 22, 2005. ARTICLE V, SECTION 195-13.
DISTRICT CLASSIFICATION: "R-3" - RESIDENTIAL DISTRICT

TWIN	REQUIRED	LOT 17 ACTUAL	LOT 18 ACTUAL
MINIMUM LOT AREA:	7,560 SF	7,777 SF	9,319 SF
MINIMUM LOT WIDTH @ BUILDING LINE:	54 FT.	55.4 FT.	59.3 FT.
MAXIMUM IMPERVIOUS COVERAGE:	30%	24.3%	18.1%
FRONT YARD RESTRICTION:	30 FT.	31.2 FT.	30.2 FT.
SIDE YARD RESTRICTION:	12 FT.	30.6 FT.	37.2 FT.
REAR YARD RESTRICTION:	30 FT.	35.4 FT.	40.7 FT.

New 14x22' TIMBERTECK Deck on BACK OF THE HOME. Note: 9' Relief

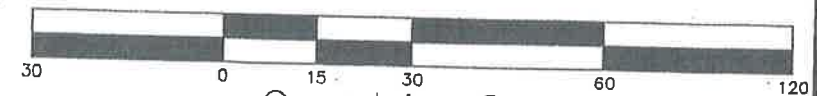


No.	REVISIONS	PLAN ORIGINATION DATE
		FEBRUARY 6, 2007

BUILDING PERMIT PLAN
OF
LOT 17/18
PREPARED FOR
PROVIDENCE RESERVE
SITE SITUATE IN
UPPER GWYNEDD TOWNSHIP
MONTGOMERY COUNTY, PENNSYLVANIA



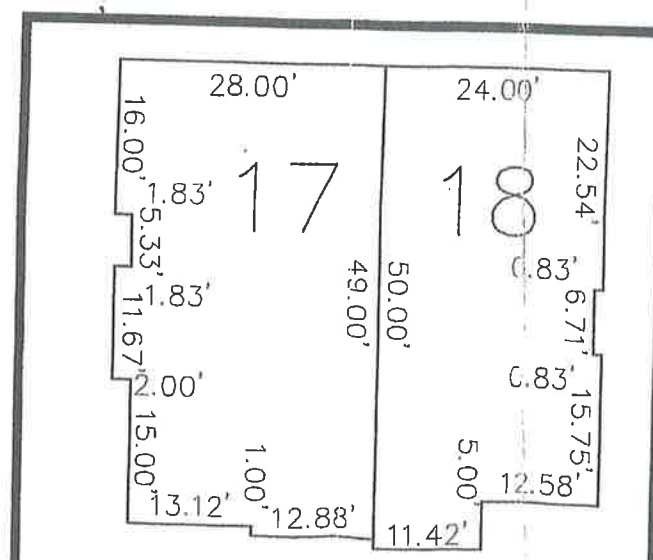
Richard C. Mast Associates, P.C.
Consulting Engineers and Surveyors



Graphic Scale

The Village At Lederach
658 Harleysville Pike, Suite 150
Harleysville, PA 19438
Phone: (215) 513-2100
Fax: (215) 513-2101

DRAFTED BY B.K.P.	PROJECT MANAGER E.M.H.	DRAWING SCALE 1"=30'	SHEET NUMBER 1 OF 1
PROJECT NO. 2341	FILE NAME 234BPLOT17-18		



BUILDING DETAIL
1"=20'

Upper Gwynedd Township did not prepare this site plan. Upper Gwynedd Township does not certify the accuracy of this site plan. Only a Registered Civil Engineer or Surveyor can determine the exact location of your property lines and the location(s) of the building(s) on the property.